

Index of Drawings

Dated 5.15.14

- C Cover Sheet with Index of Drawings
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- C2 Site Plan-Grading and Drainage
- C3 Site Plan-Utilities
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- A7 Exterior Elevations
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- A10 Sketch from Beach Street



View along Court Street

Court Street
Newton, MA

5.15.14

- Owner SEB, LLC
165 Chestnut Hill Avenue #2
Brighton, MA
- Architect Grazado Velleco Architects, Inc
Little Harbor
Marblehead, MA
- Civil Engineer Hayes Engineering, Inc
306 Salem Street
Wakefield, MA
- Landscape Architect Offshoots
547 Rutherford Ave.
Charlestown, MA



View from Beach Street

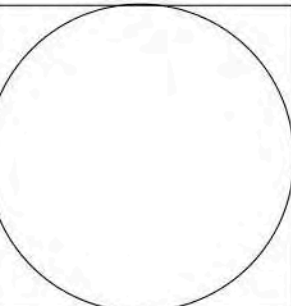
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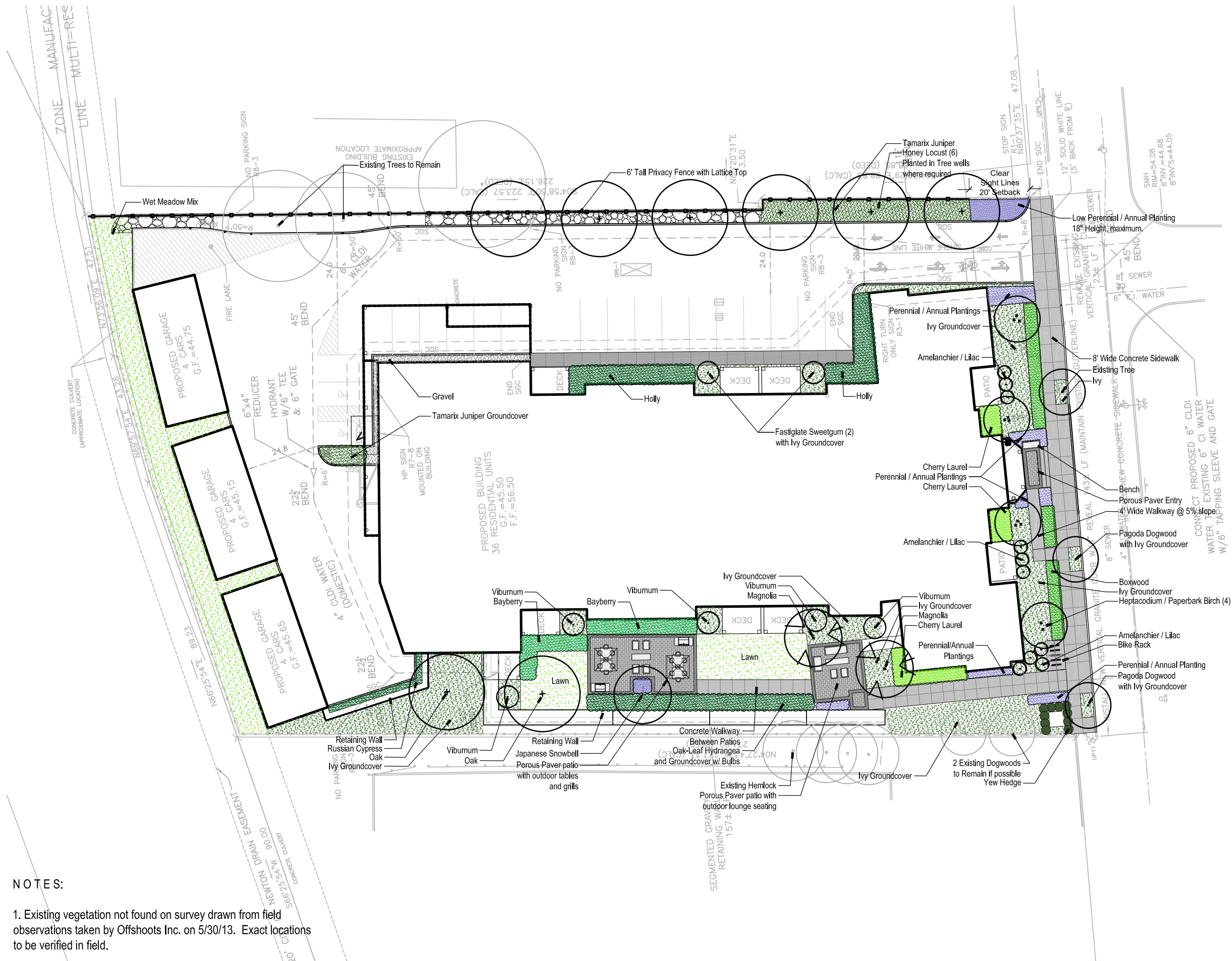
COVER SHEET AND INDEX

DATE: 5.15.14
SCALE:

SEB, LLC
165 Chestnut Hill Ave. #2
Brighton, MA 02135

Grazado Velleco Architects
Little Harbor
Marblehead, MA 01945



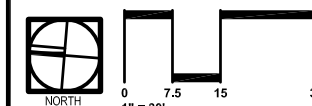


Court Street

Court Street
Newton, MA

CONCEPTUAL DESIGN

Site Plan



May 15, 2014

L-1

ZONING TABLE		
ZONE	MULTI-RESIDENCE 1	
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROPOSED/PROVIDED
FRONT YARD SETBACK	30 ft	9.4± ft
SIDE YARD SETBACK	10 ft	18.9± ft
REAR YARD SETBACK	15 ft	10.5± ft
MIN. FRONTAGE	80 ft	179.01 ft
MIN. LOT AREA	10,000 ft²	52,112 ft²
MAX. BUILDING HEIGHT	36 ft	54.6 ft
MAX. NUMBER OF STORIES	2.5	3.5
MIN. AMOUNT OF OPEN SPACE	50 %	32.3 %
MAX. BLDG. LOT COVERAGE	30 %	39.7 %
SHEET INDEX		
PLAN TITLE	SHEET DESIGNATION	
EXISTING CONDITION	C1	
GRADING & DRAINAGE	C2	
UTILITY	C3	
LAYOUT	C4	
SITE DETAIL	C5	
SITE DETAIL	C6	
SITE DETAIL	C7	
UTILITY PROFILE	C8	

LEGEND OF SYMBOLS
& ABBREVIATIONS:

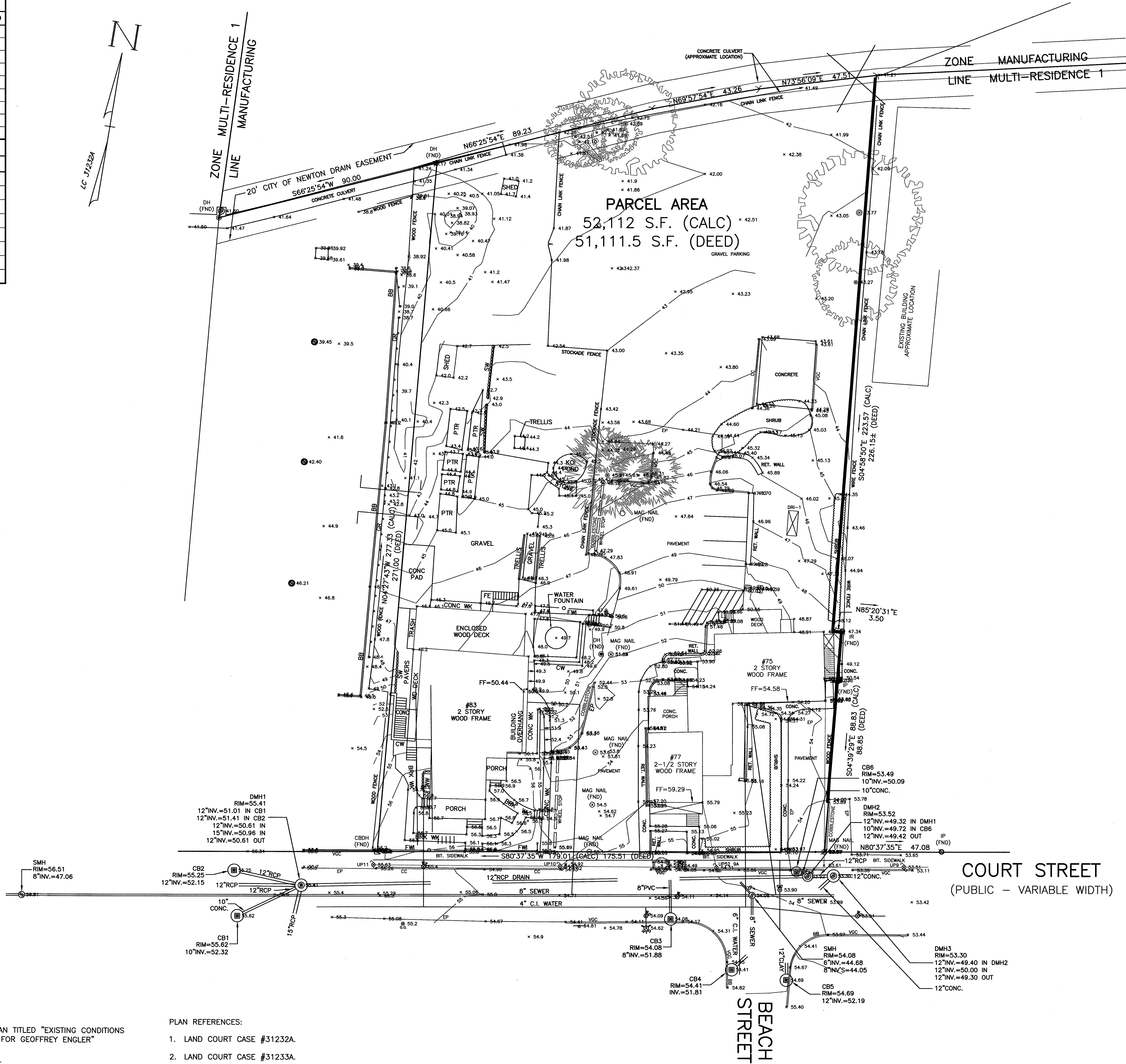
EXIST. SPOT ELEVATION	x 43.35
EXIST. CONTOUR	— 43 —
EDGE OF PAVEMENT	EP
VERTICAL GRANITE CURB	VGC
CONCRETE CURB	CC
BITUMINOUS BERM	BB
WOOD FENCE	
STOCKADE FENCE	
CHAIN LINK FENCE	
WIRE FENCE	
RETAINING WALL	
WATER	
DRAIN	
SEWER	
GAS	
DRAIN MANHOLE	⊙
CATCH BASIN	⊕
SEWER MANHOLE	⊙
FIRE HYDRANT	⊙
UTILITY POLE	UP11
WATER SHUT OFF	⊙
WATER GATE	⊙
GAS GATE	⊙
TREES	⊙
CONC.	CONCRETE
FWI	FENCE WROUGHT IRON
WW	WINDOW WELL
CW	CONCRETE WALL
BRK	BRICK
PRT	PLANTER
FE	FIRE ESCAPE
FF	FINISHED FLOOR
CBDH	CONCRETE BOUND DRILL HOLE
IP	IRON PIPE
DH	DRILL HOLE
FND	FOUND

NOTES:

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PLAN REFERENCES:

- LAND COURT CASE #31232A.
- LAND COURT CASE #31233A.
- LAND COURT CASE #31234B.
- PLANS OF RECORD.



Prepared For:

Owner / Applicant

SEB Court Street, LLC
165 Chestnut Hill Ave. #2
Brighton, MA 01945

Prepared By:

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Wakefield, MA 01880
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Fax: 781.246.7596
www.hayeseng.com

Design By:

Drawn By: MEM

Checked By: WRB

Project File: NEW-0033

Comp. No: NEW23

Issued For Permit

Issued For Review

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Issued For Construction

Not For Construction

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Drawing Title:

SITE PLAN-EXISTING CONDITION

#75-#83 COURT STREET

CHAPTER 40B COMPREHENSIVE PERMIT

NEWTON, MASS.

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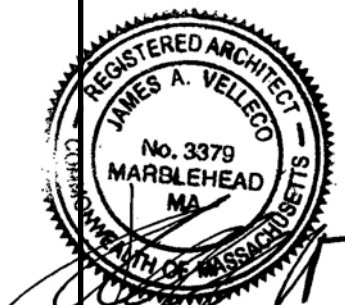
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Grazado Velleco Architects
Little Harbor
Marblehead, MA 01945

SEB, LLC
165 Chestnut Hill Ave. #2
Brighton, MA 02135

GARAGE LEVEL PLAN

DATE: 5.15.14
SCALE: 1"=10'

A1

Garage Level 17750 SF
Main Level 18400 SF
Second Floor 18400 SF
Third Floor 18000 SF
Loft Level 7950 SF

Gross Residential 62850 SF
Gross Garage/Basement 17750 SF

first floor 11 units
second floor 12
third floor 13

Total 36

Parking 77 Spaces

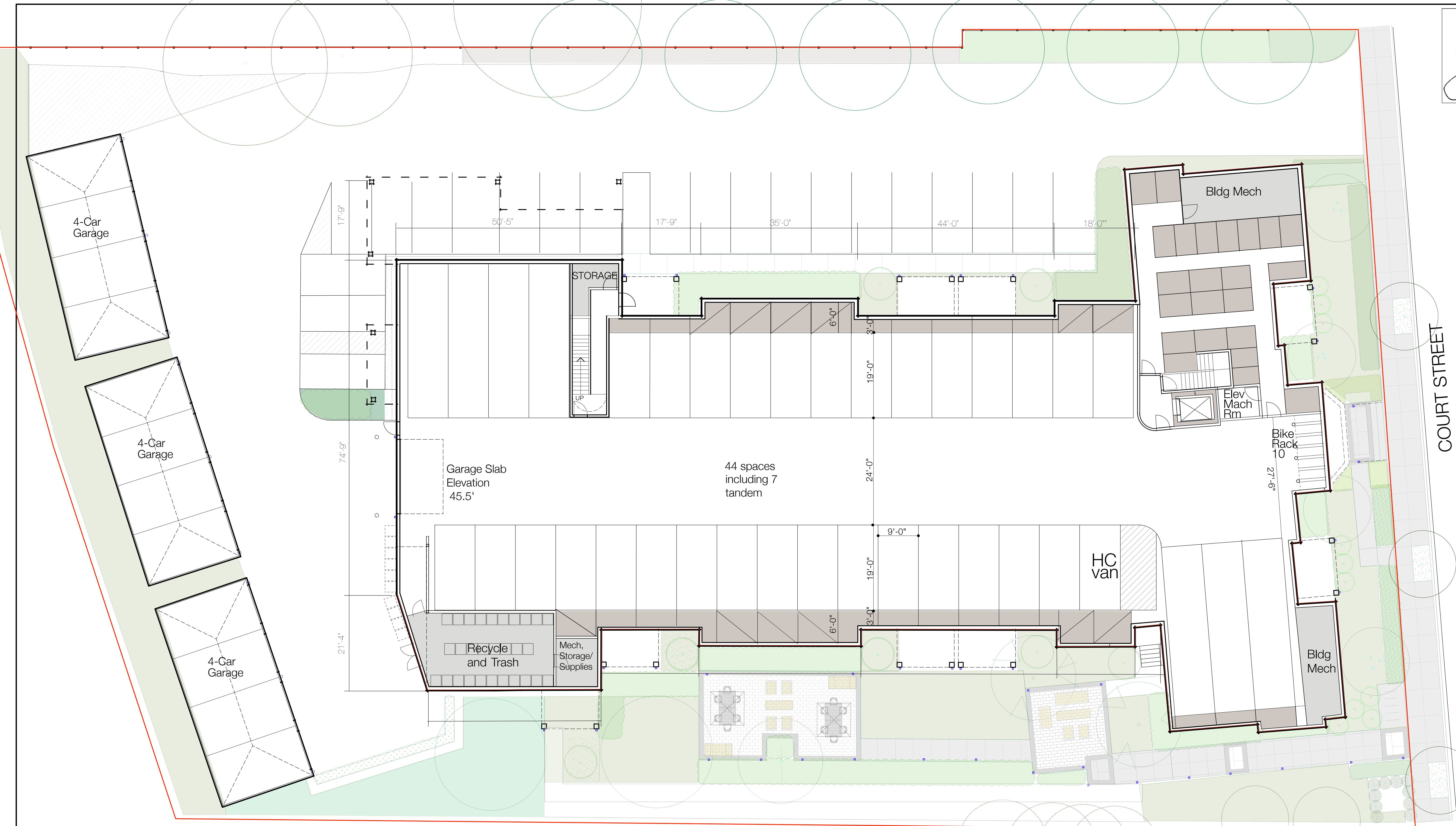
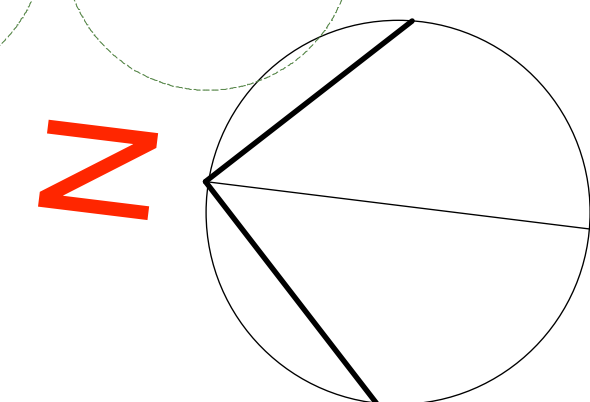
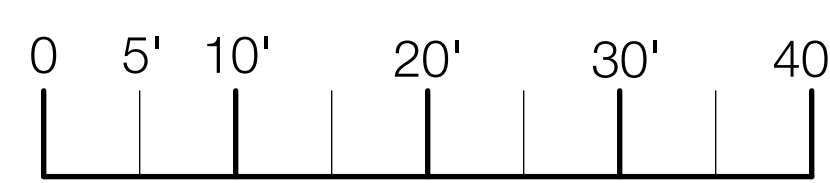


UNIT STORAGE



BUILDING MECHANICAL,
MAINTENANCE

GARAGE LEVEL





Grazado Velleco Architects
Little Harbor
Marblehead, MA 01945

SEB,LLC
165 Chestnut Hill Ave. #2
Brighton, MA 02135

FIRST FLOOR PLAN

DATE: 5.15.14
SCALE: 1"=10'

A2

Garage Level 17750 SF
Main Level 18400 SF
Second Floor 18400 SF
Third Floor 18000 SF
Loft Level 7950 SF

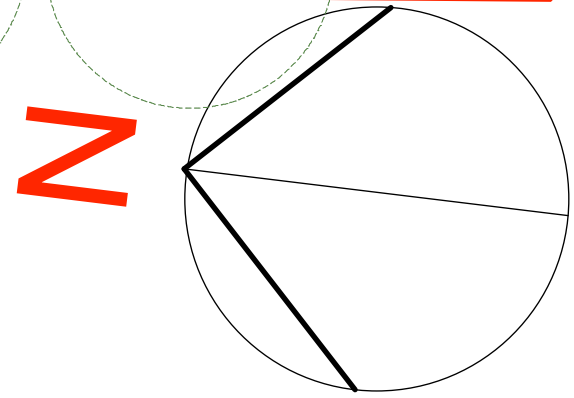
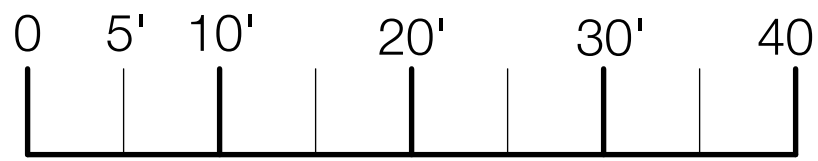
Gross Residential 62850 SF
Gross Garage/Basement 17750 SF

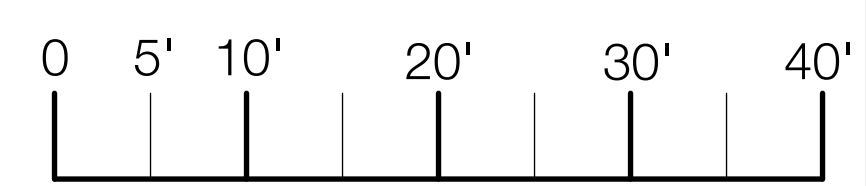
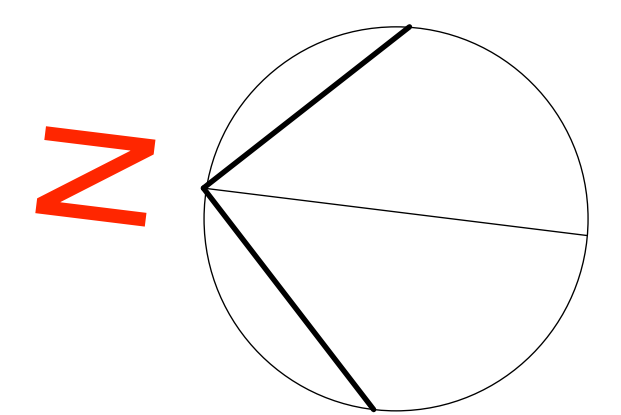
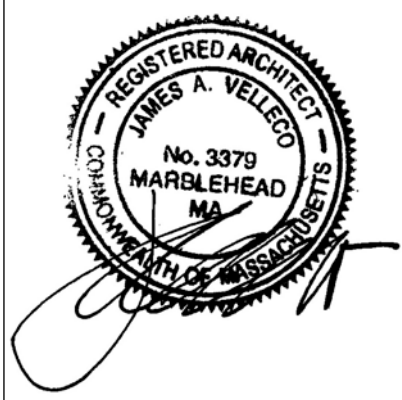
first floor 11 units
second floor 12
third floor 13

Total 36

Parking 77 Spaces

FIRST FLOOR





SECOND FLOOR

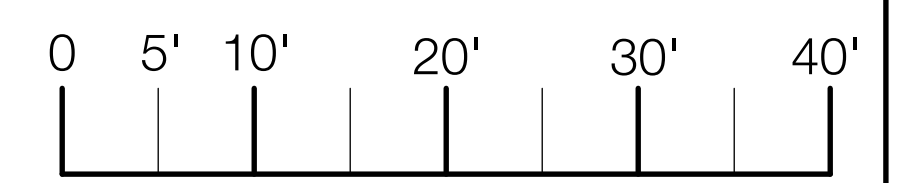
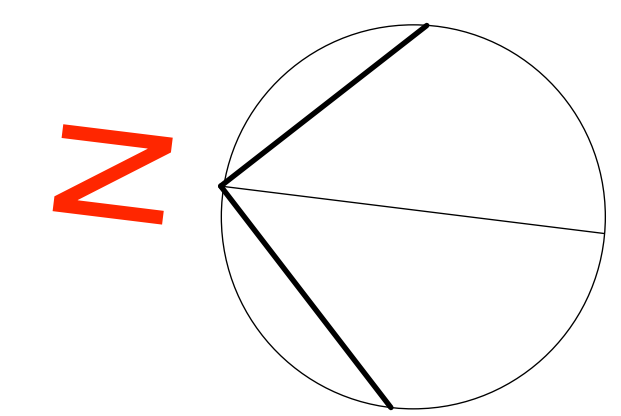
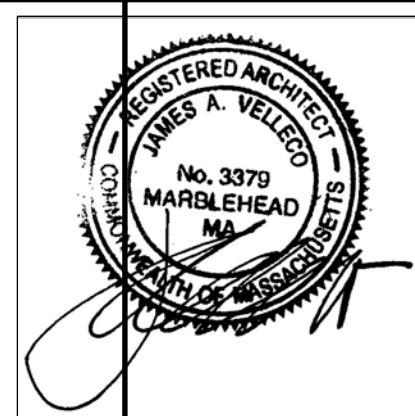
SECOND FLOOR PLAN

DATE: 5.15.14
SCALE: 1"=10'

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A3



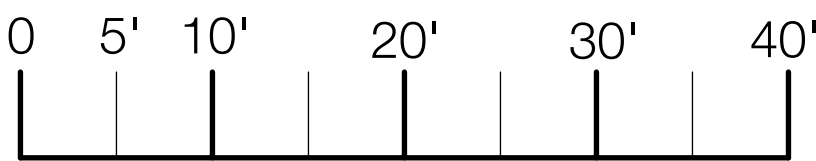
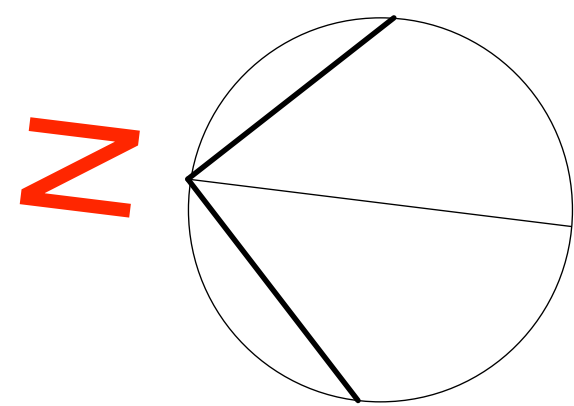
THIRD FLOOR

THIRD FLOOR PLAN
DATE: 5.15.14
SCALE: 1"=10'

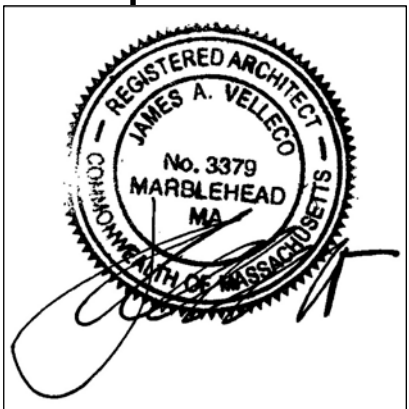
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Grazado Velleco Architects
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Marblehead, MA 01945

SEB, LLC
165 Chestnut Hill Ave. #2
Brighton, MA 02135



LOFT LEVEL

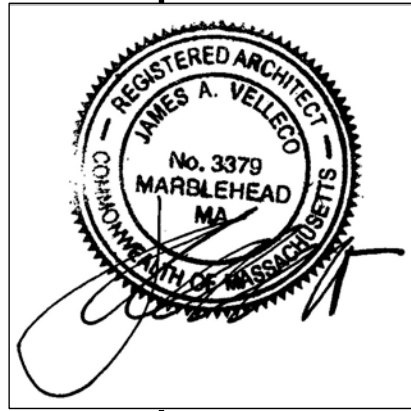
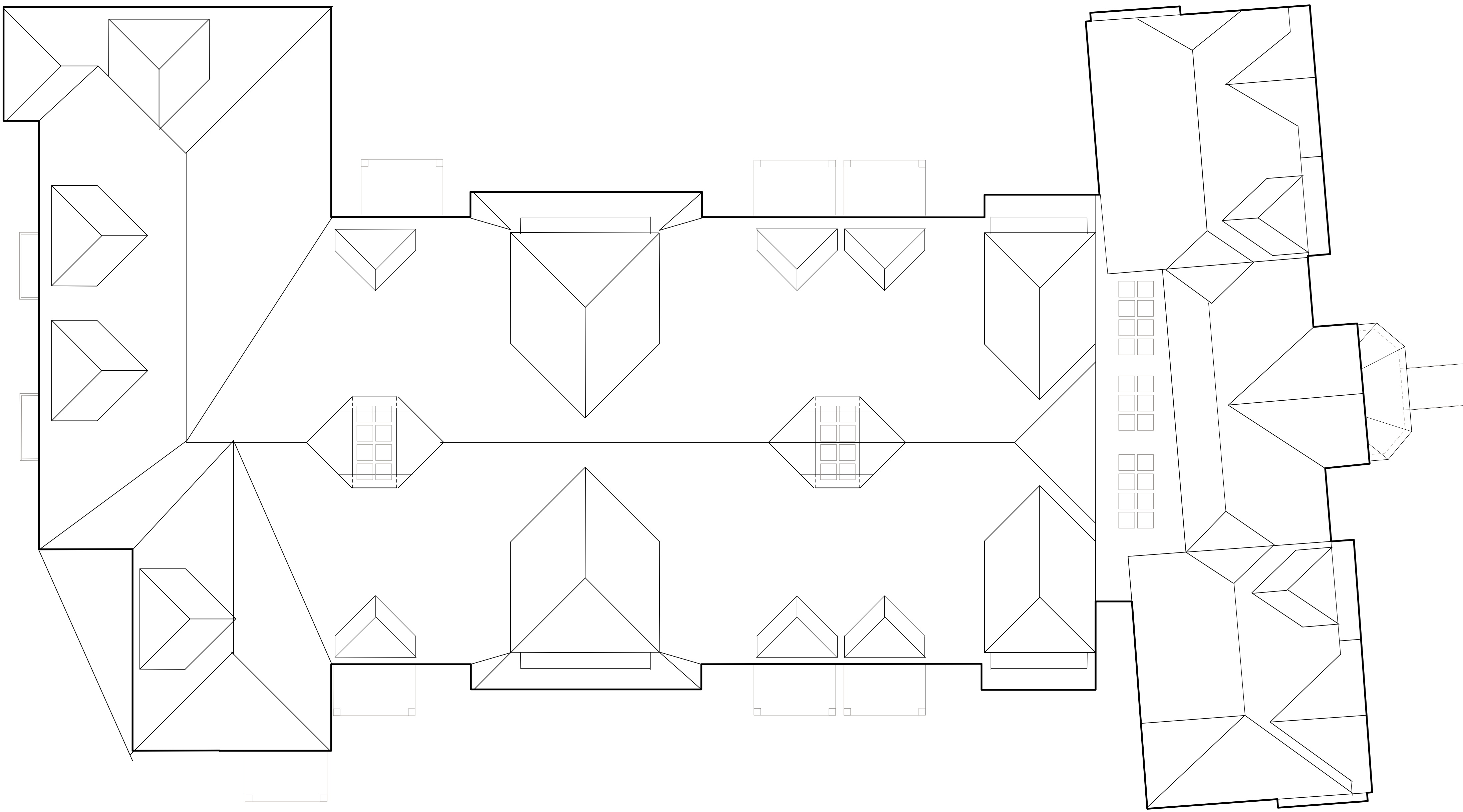


Grazado Vellico Architects
Little Harbor
Marblehead, MA 01945

SEB, LLC
165 Chestnut Hill Ave. #2
Brighton, MA 02135

LOFT LEVEL PLAN
DATE: 5.15.14
SCALE: 1"=10'

A5



Grazado Velleco Architects
Little Harbor
Marblehead, MA 01945

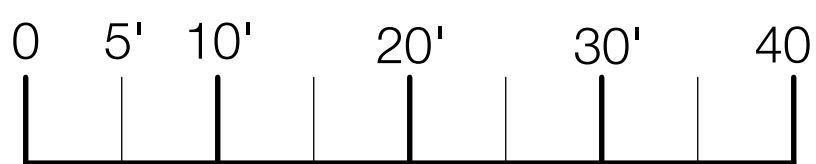
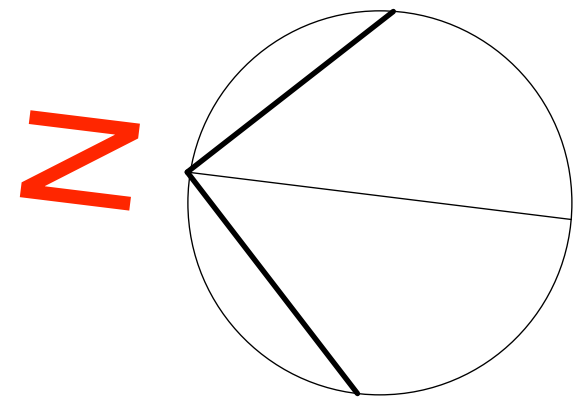
SEB, LLC
165 Chestnut Hill Ave. #2
Brighton, MA 02135

ROOF PLAN

DATE: 5.15.14
SCALE: 1"=10'

A6

ROOF PLAN



ZONING TABLE		
ZONE	MULTI-RESIDENCE 1	
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROPOSED/PROVIDED
FRONT YARD SETBACK	30 ft	9.4± ft
SIDE YARD SETBACK	10 ft	18.9± ft
REAR YARD SETBACK	15 ft	10.5± ft
MIN. FRONTAGE	80 ft	179.01 ft
MIN. LOT AREA	10,000 ft²	52,112 ft²
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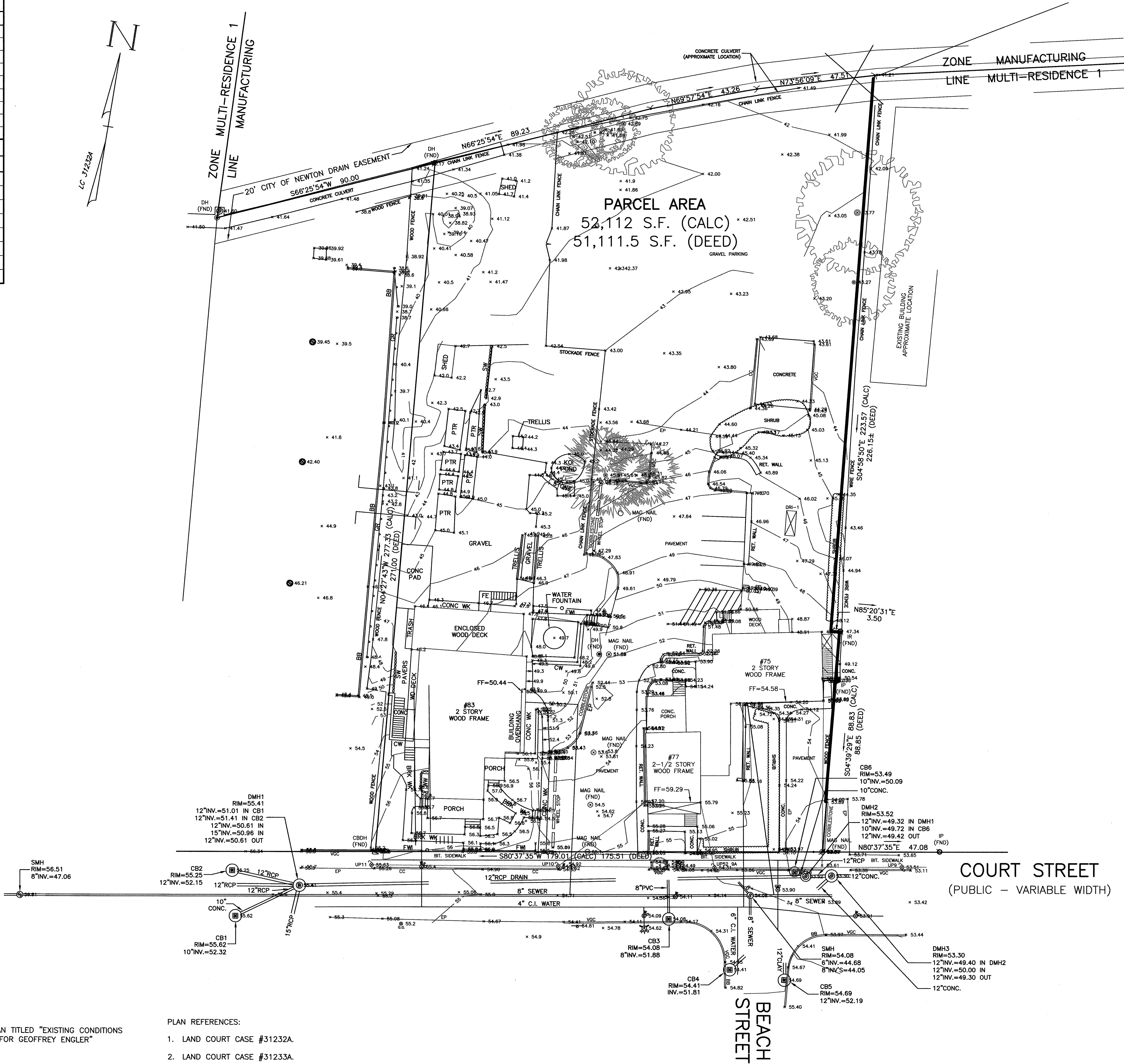
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EXIST. CONTOUR	— 43 —
EDGE OF PAVEMENT	EP
VERTICAL GRANITE CURB	VGC
CONCRETE CURB	CC
BITUMINOUS BERM	BB
WOOD FENCE	
STOCKADE FENCE	
CHAIN LINK FENCE	
WIRE FENCE	
RETAINING WALL	
WATER	
DRAIN	
SEWER	
GAS	
DRAIN MANHOLE	⊙
CATCH BASIN	⊕
SEWER MANHOLE	⊙
FIRE HYDRANT	⊙
UTILITY POLE	UP11
WATER SHUT OFF	⊙
WATER GATE	⊙
GAS GATE	⊙
TREES	⊙
CONC.	CONCRETE
FWI	FENCE WROUGHT IRON
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PLAN REFERENCES:

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Design By:

Drawn By: MEM

Checked By: WRB

Project File: NEW-0033

Comp. No: NEW23

☐ Issued For Permit

☐ Issued For Review

☐ Issued For Bid

☐ Issued For Construction

☐ Not For Construction

Revision

5-28-2014

Final Adjustments

Grades West Side of Bldg

5-15-2014

Revision

1

Grades West Side of Bldg

5-15-2014

Revision

1

Grades West Side of Bldg

5-15-2014

Revision

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Grades West Side of Bldg

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Grades West Side of Bldg

5-15-2014

Revision

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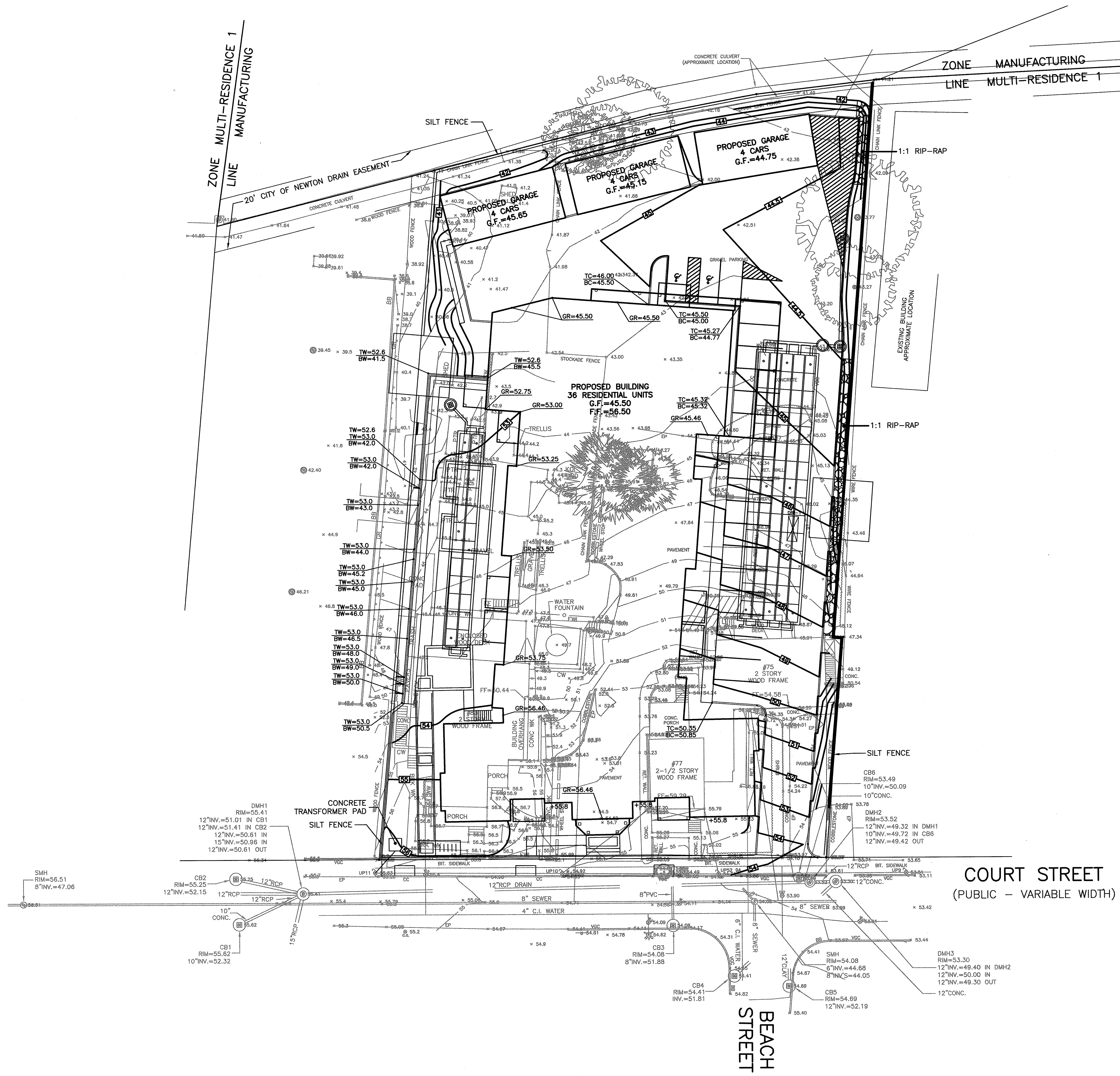
Grades West Side of Bldg

5-15-2014

Revision

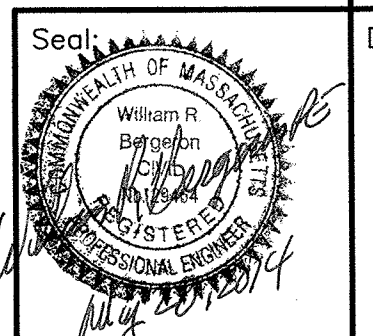
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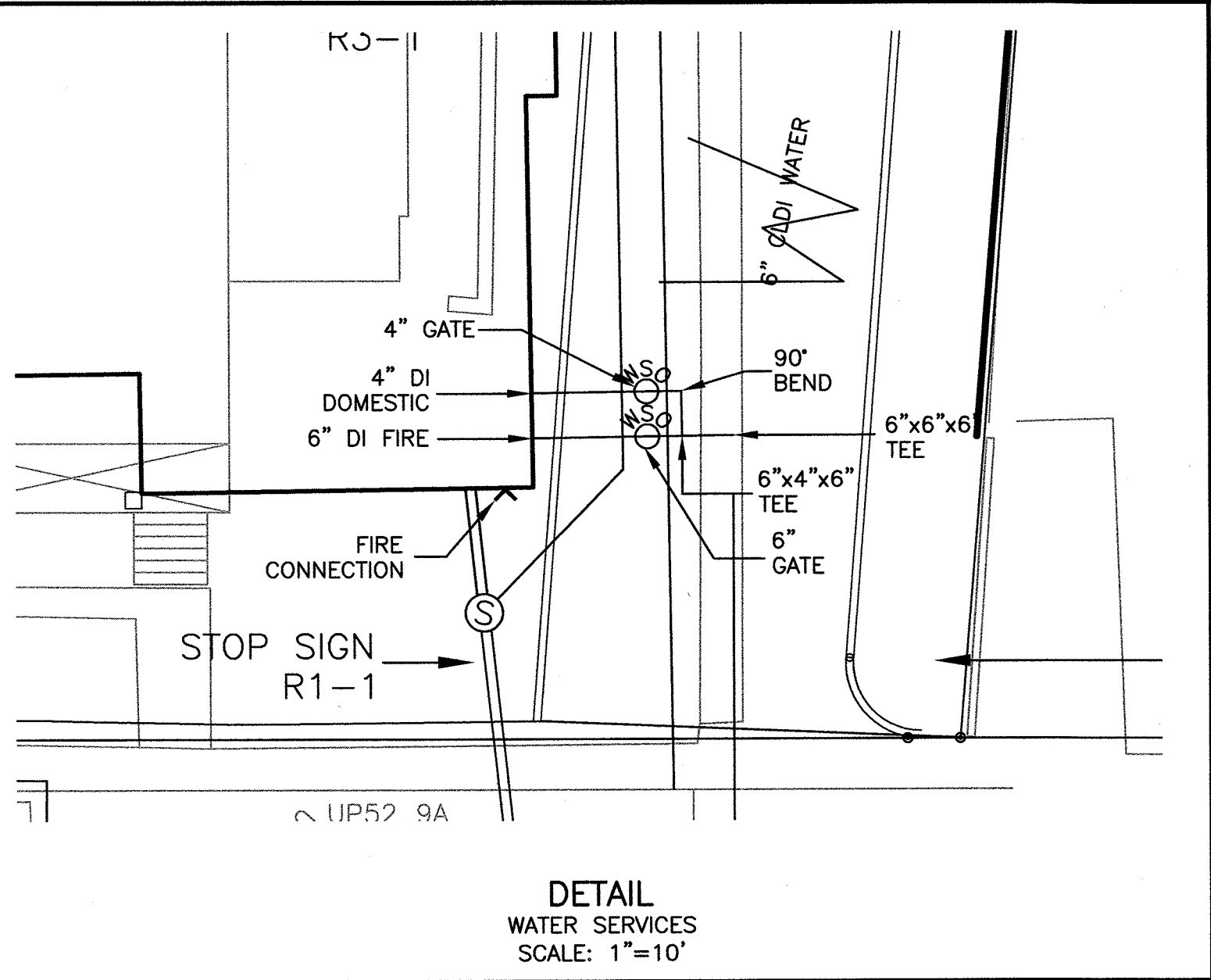
Grades West Side of Bldg



BEACH
STREET

SHEET 2 OF 7



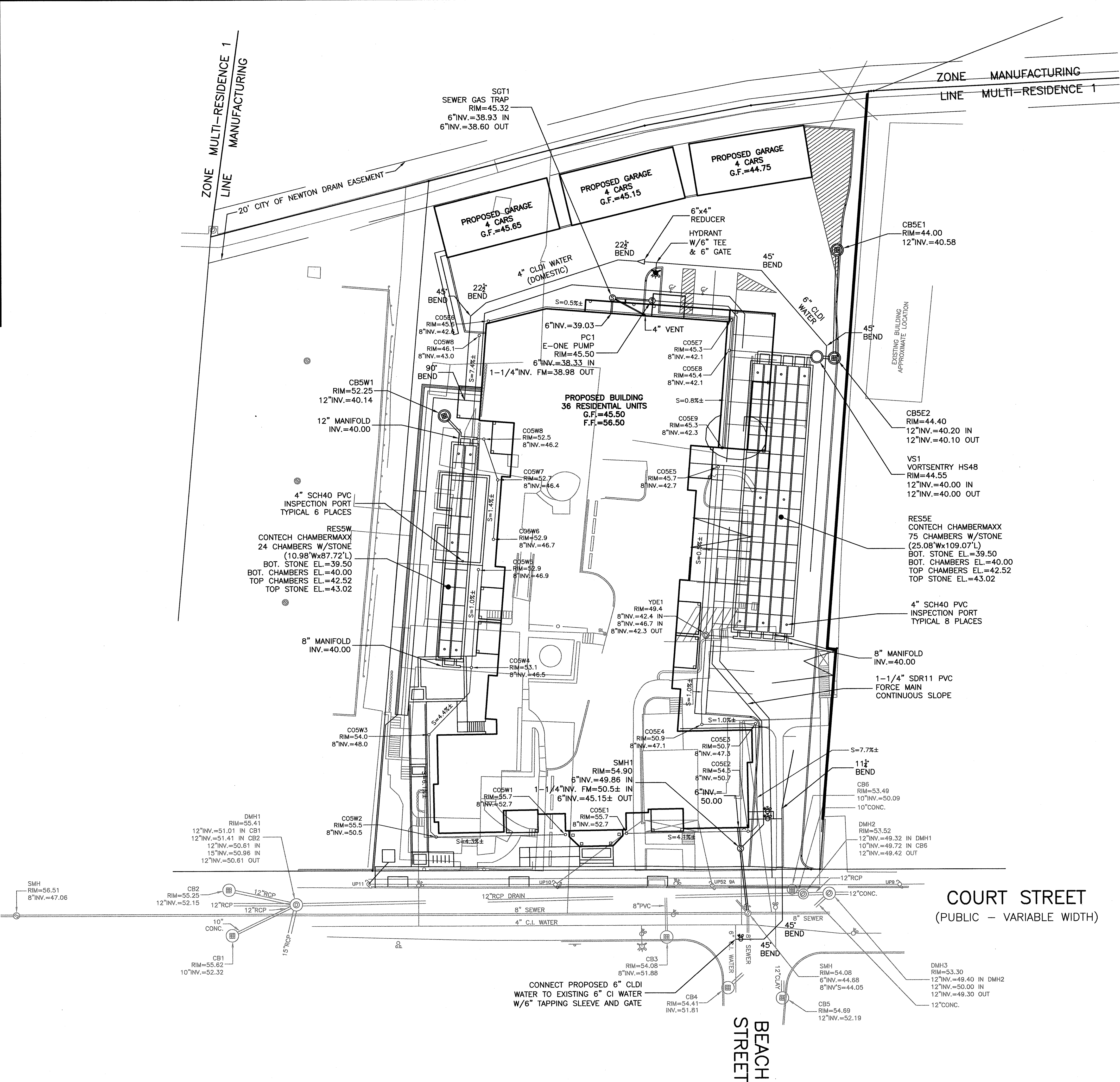


- NOTES:
- UTILITIES SHOWN IN COURT STREET AND BEACH STREET ARE COMPILED FROM CITY RECORDS, VARIOUS PLANS OF RECORD OF UNKNOWN ACCURACY AND AN ACTUAL INSTRUMENT SURVEY BY HAYES ENGINEERING, INC. THIS PLAN DOES NOT IMPLY THAT ALL UTILITIES ARE REPRESENTED.
 - CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMITS ARE REQUIRED PRIOR TO CONSTRUCTION.
 - ALL UTILITIES SHALL BE INSTALLED TO THE CITY OF NEWTON'S CONSTRUCTION STANDARDS AND TESTING REQUIREMENTS. ALL UTILITIES (WATER, SEWER, ELECTRIC, TELEPHONE, CABLE AND DRAINAGE) SHALL BE WITNESSED AND INSPECTED BY CITY INSPECTORS.
 - ANY BLASTING ON SITE WILL REQUIRE A PERMIT FROM THE NEWTON FIRE DEPARTMENT.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE, AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW; BACKFILLING SHALL ONLY TAKE PLACE WHEN THE CITY'S INSPECTOR HAS GIVEN THEIR APPROVAL.
 - PRIOR TO OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND IN HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND FINAL GRADING.
 - IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
 - THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING, AND UTILITIES CONNECTING PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
 - ROOF DOWNSPOUT CONNECTIONS TO DRAINAGE SYSTEM TO BE DETERMINED IN FIELD.
 - ALL DRAINAGE PIPE TO BE HDPE UNLESS OTHERWISE SPECIFIED.
 - STORMWATER MANAGEMENT AREAS RESSE AND RESSW WILL REQUIRE ADDITIONAL FITTINGS (NOT SHOWN) TO ACCOMMODATE CONNECTIONS FROM DRAINAGE SYSTEM.

- CONTRACTORS UTILITY NOTES:
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
 - THE CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING THE LOCATIONS, SIZES, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL NOTIFY THE ENGINEER IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DESIGN AND THE APPROPRIATE REMEDIAL ACTION PRIOR TO PROCEEDING WITH THE WORK.
 - THE CONTRACTORS ARE RESPONSIBLE FOR CONTACTING DIG SAFE AT (888) DIG-SAFE PRIOR TO THE START OF ANY CONSTRUCTION.
 - ELECTRIC, TELEPHONE, CABLE, FIRE AND GAS SHOWN ON THE PLANS ARE SCHEMATIC AND ARE SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY. ALL WORK FOR UTILITIES WILL BE DONE IN STRICT COMPLIANCE WITH THE RESPECTIVE SPECIFICATIONS AND REQUIREMENTS.

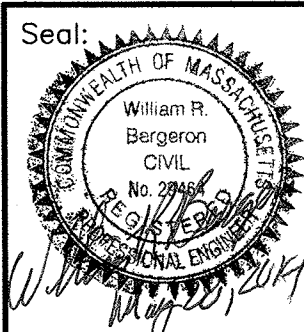
LEGEND OF SYMBOLS
& ABBREVIATIONS:

- | | |
|-----------------------------------|---|
| PROPOSED WATER | — |
| PROPOSED GAS | — |
| PROPOSED FORCE MAIN | — |
| PROPOSED SEWER | — |
| PROPOSED DRAIN | — |
| PROPOSED ROOF DRAIN | — |
| PROPOSED ELECTRIC/TELEPHONE/CABLE | — |



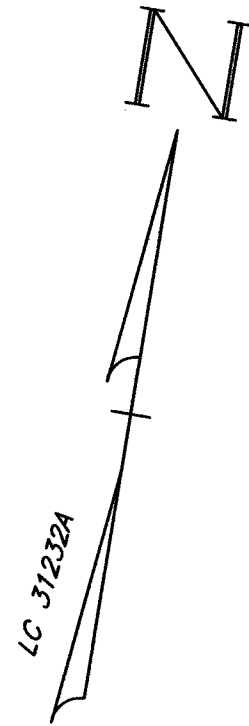
COURT STREET
(PUBLIC - VARIABLE WIDTH)

BEACH STREET



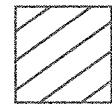
Prepared For:	Owner / Applicant									
Prepared By:	SEE Court Street, LLC 1180 Brighton, MA 01945									
Design By:	MEM									
Checked By:	WRB									
Project File:	NEW-0033									
Comp. No:	NEW23									
<input type="checkbox"/> Issued For Permit										
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<input type="checkbox"/> Issued For Bid										
<input type="checkbox"/> Issued For Construction										
<input type="checkbox"/> Not For Construction										
10	9	8	7	6	5	4	3	2	1	No.
Final Adjustments										Revision
5-28-2014										5-15-2014
Grades West Side of Blg										Date
Scale: 1"=20'										Date: February 19, 2014
Drawing Title:										
SITE PLAN-UTILITY										
#75-#83 COURT STREET										
CHAPTER 40B COMPREHENSIVE PERMIT										
NEWTON, MASS.										
Drawing No.:										
C3										
SHEET 3 OF 7										

PARKING TABLE
REGULAR GARAGE UNDER SPACES = 43
CARRIAGE GARAGE SPACES = 12
REGULAR SURFACE SPACES = 16
COMPACT SURFACE SPACES = 3
ACCESSIBLE SURFACE SPACES = 2
ACCESSIBLE GARAGE SPACES = 1
TOTAL SPACES PROVIDED = 77



LEGEND OF SYMBOLS
& ABBREVIATIONS:

DENOTES ACCESSIBLE ROUTE

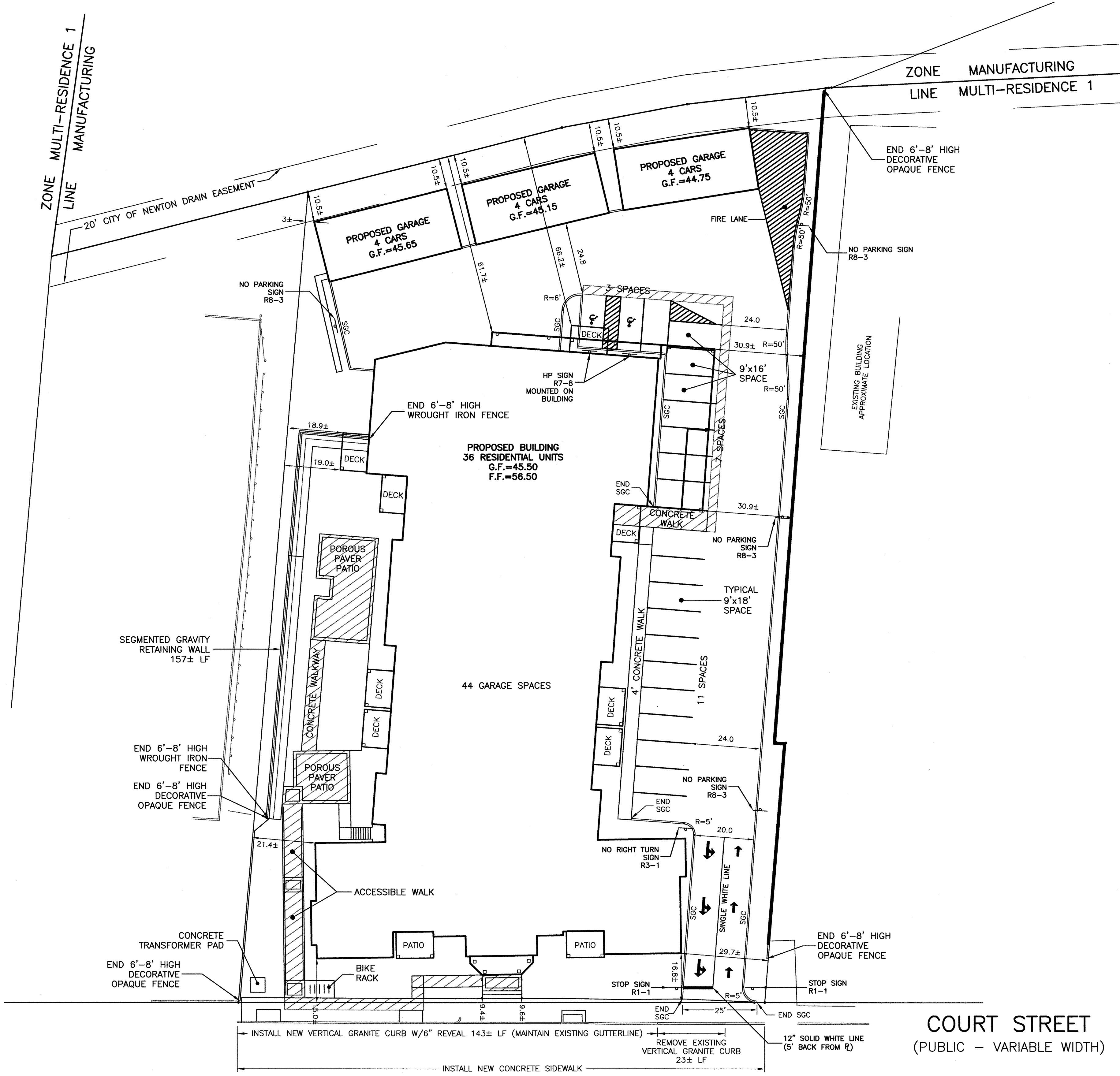


GENERAL NOTES:

1. SEE ARCHITECTURAL PLANS FOR SITE LIGHTING.

ACCESSIBILITY NOTES:

1. ALL ACCESSIBLE PARKING SPACES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% IN ALL DIRECTIONS.
2. ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY SIGNS INDICATING THAT THEY ARE RESERVED.
3. MINIMUM WIDTH OF CURB CUT SHALL BE 36 INCHES.
4. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
5. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36 INCHES EXCEPT AT DOORS.
6. THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 2%.
7. SHADED AREAS DENOTE ACCESSIBLE ROUTE AND MANEUVERING AREAS AT DOORS AND SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
8. HANDICAPPED SPACES TO BE 8 FEET WIDE AND 18 FEET LONG (EXCLUSIVE OF ACCESSIBLE AREA).
9. WHEELCHAIR RAMPS SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
10. AREAS OF PAVEMENT ALTERATION IN ANY RIGHT OF WAY SHALL MEET EXISTING GRADE



Prepared For:

Owner / Applicant

SEB Court Street LLC
165 Chestnut Hill Ave. #2
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www.hayeseng.com

Design By:

Drawn By: MEM

Checked By: WRB

Project File: NEW-0033

Comp. No: NEW23

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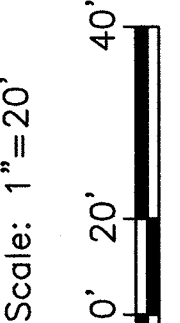
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☐ Not For Construction

No.	Revision	Date
1	Final Adjustments	5-28-2014
2	Grades West Side of Bldg	5-15-2014
3		
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Date: February 19, 2014

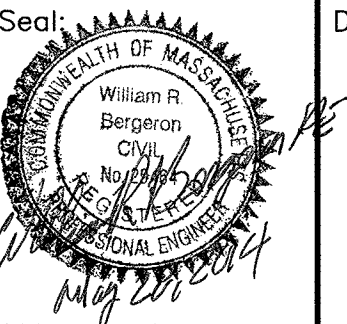
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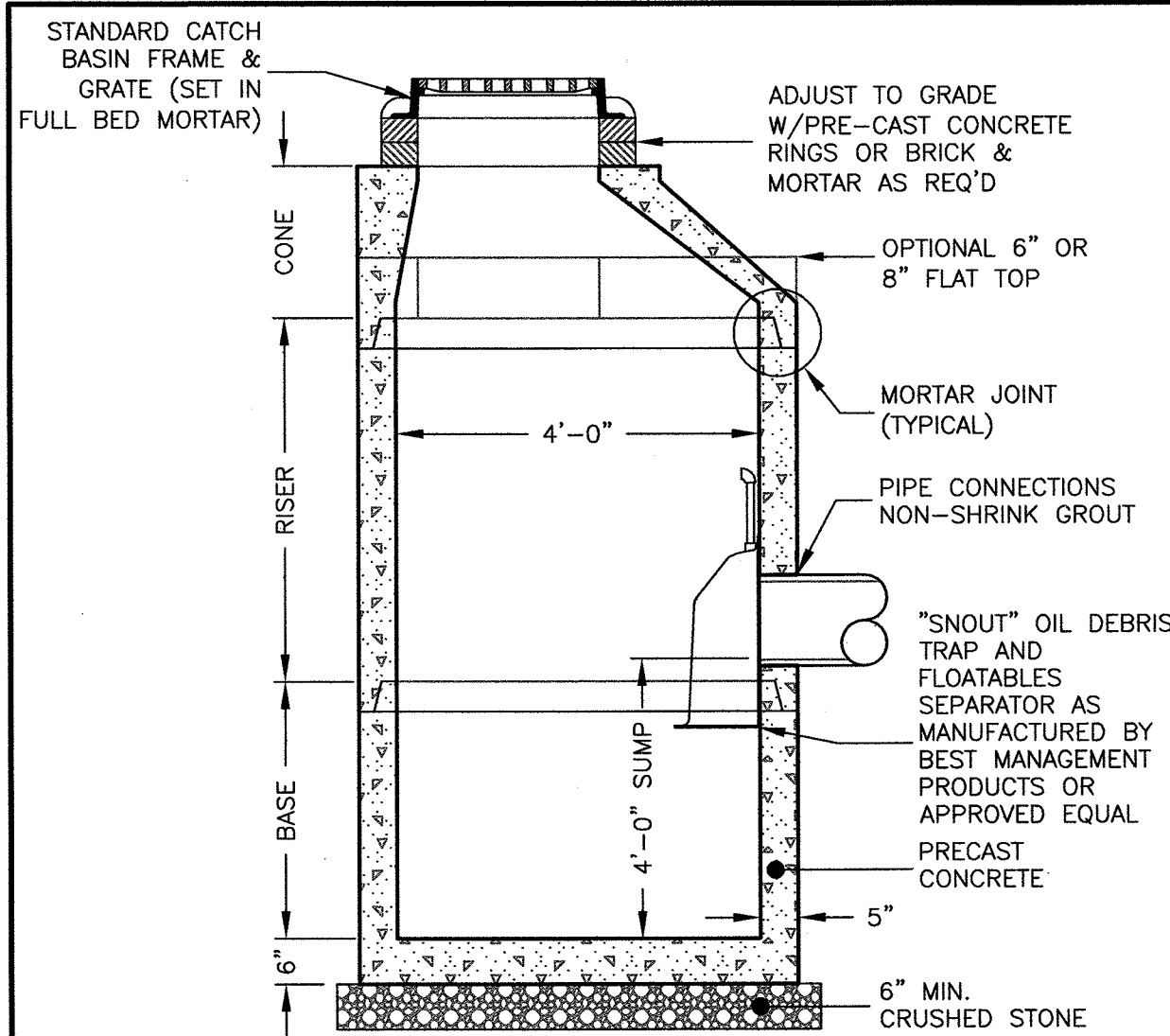
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#75-#83 COURT STREET
CHAPTER 40B COMPREHENSIVE PERMIT
NEWTON, MASS.

Drawing No.:

C4

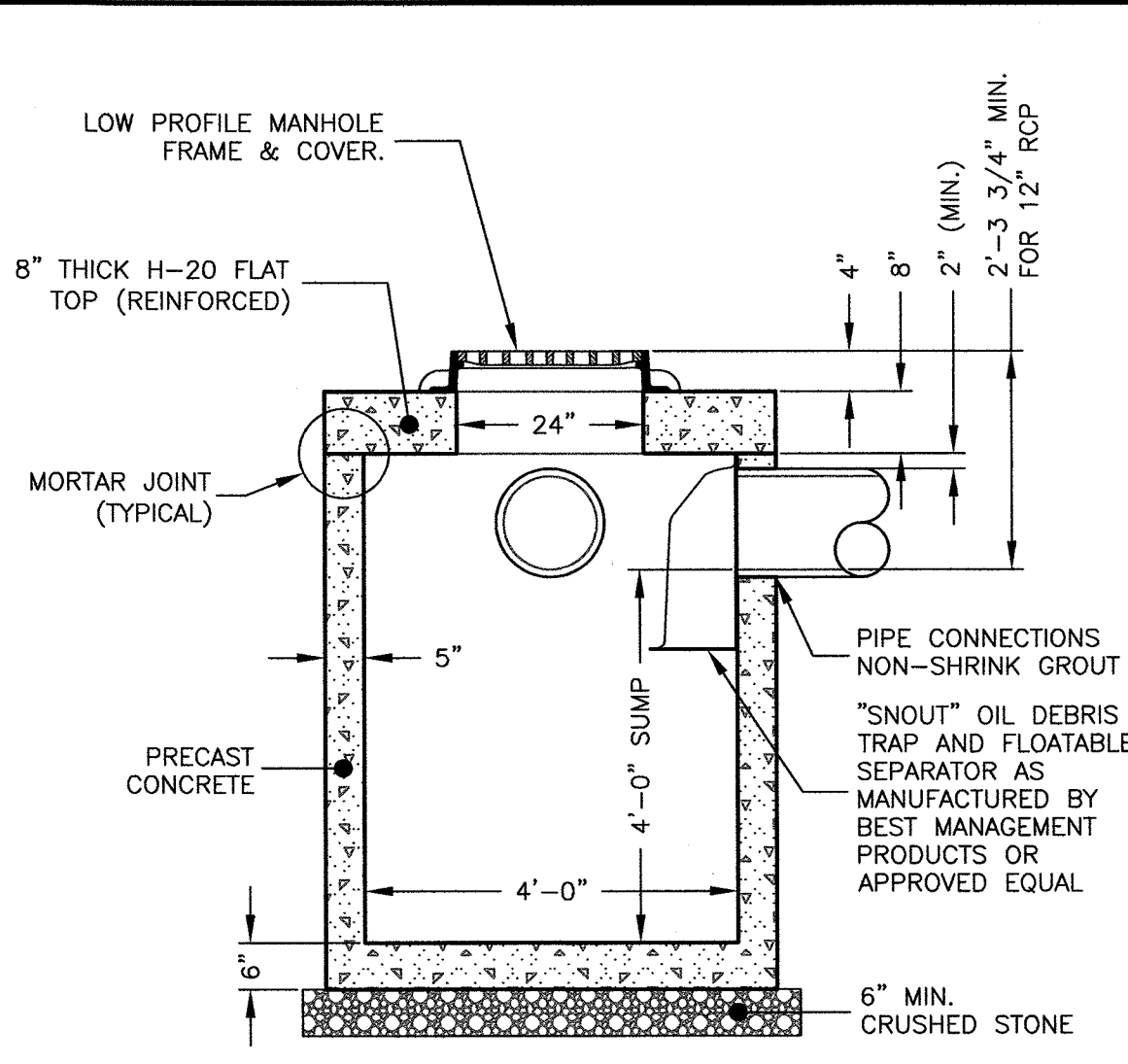
SHEET 4 OF 7





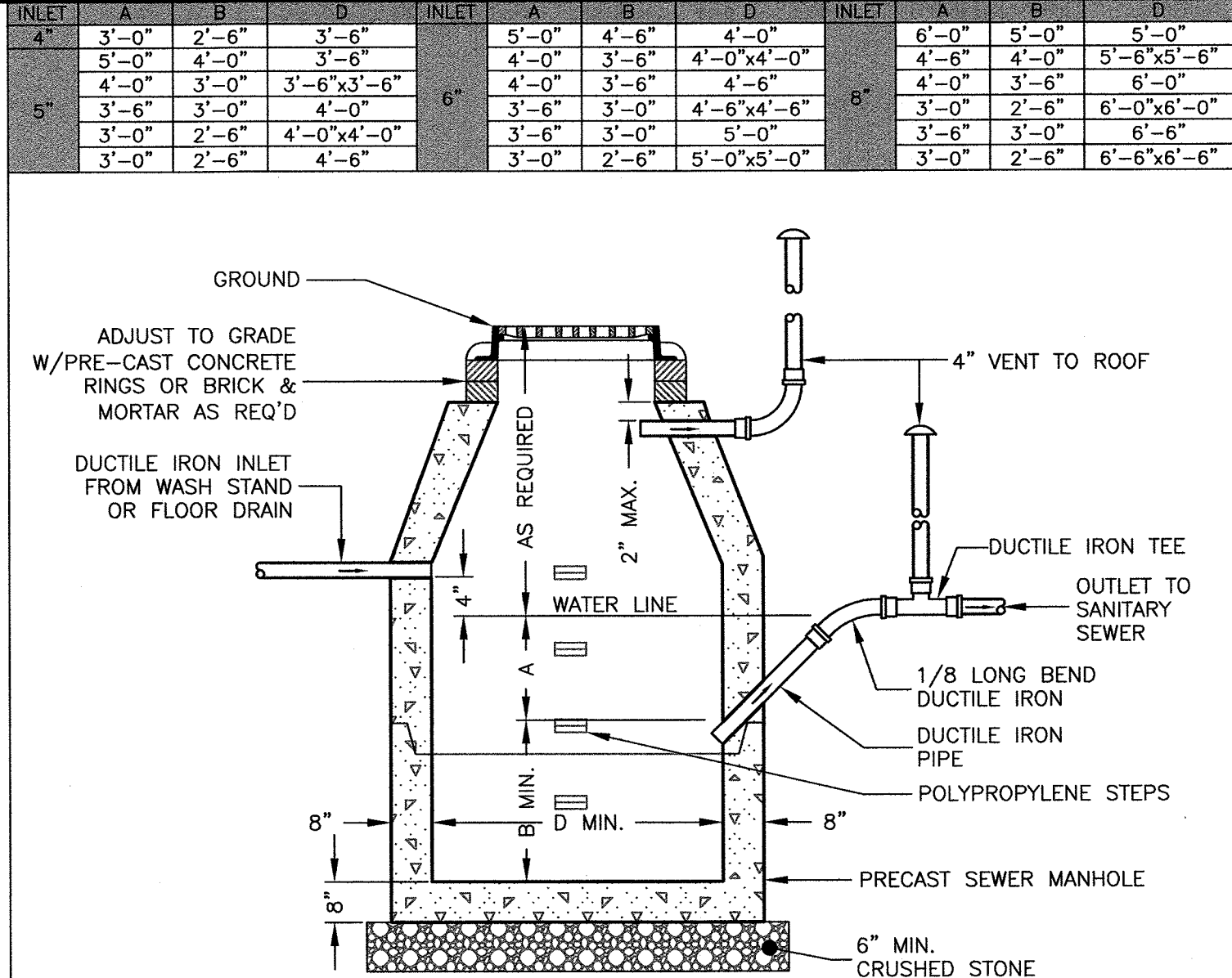
PRE-CAST CATCH BASIN
NOT TO SCALE

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."



REDUCED COVER CATCH BASIN
NOT TO SCALE

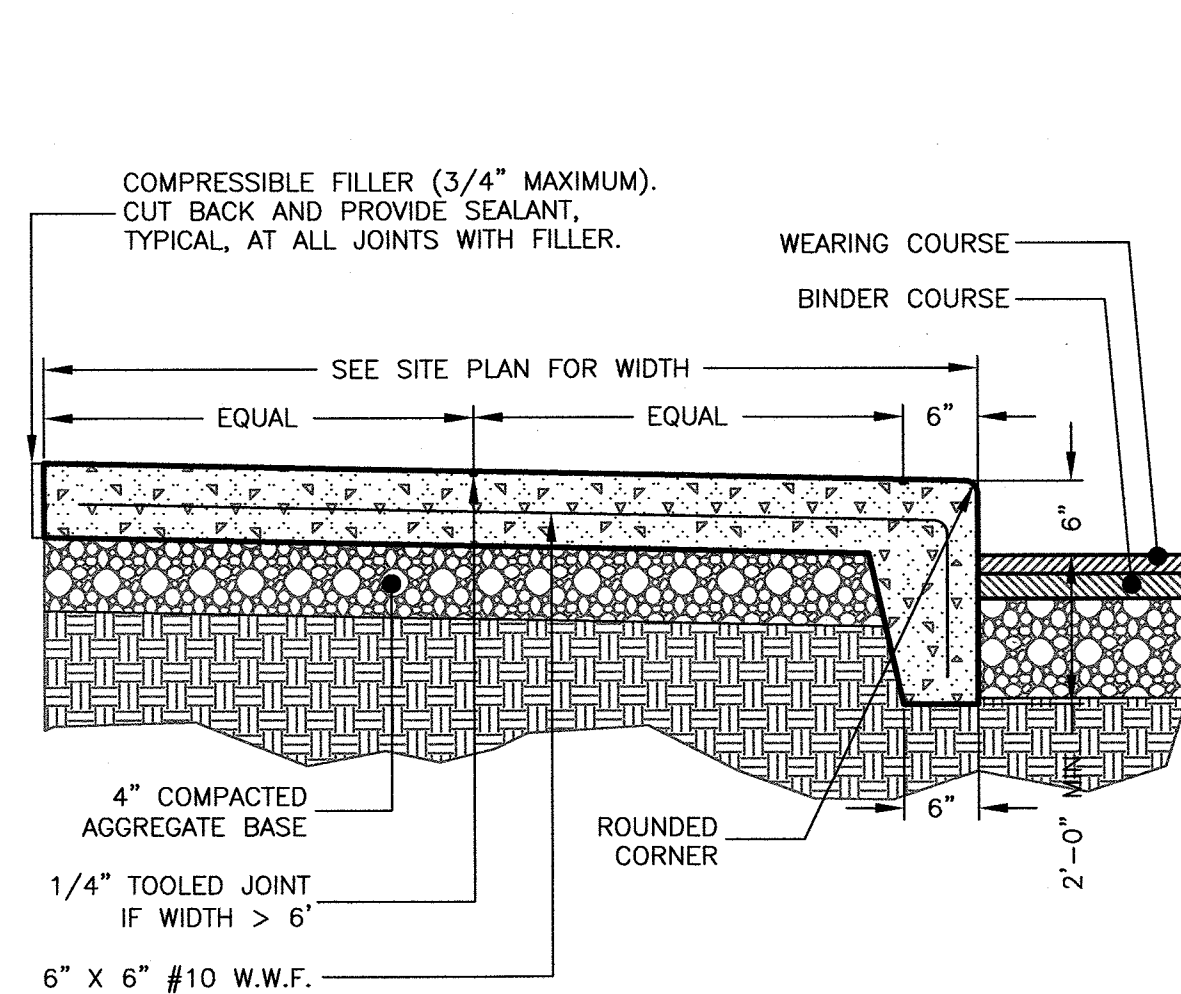
- NOTES:
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 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."



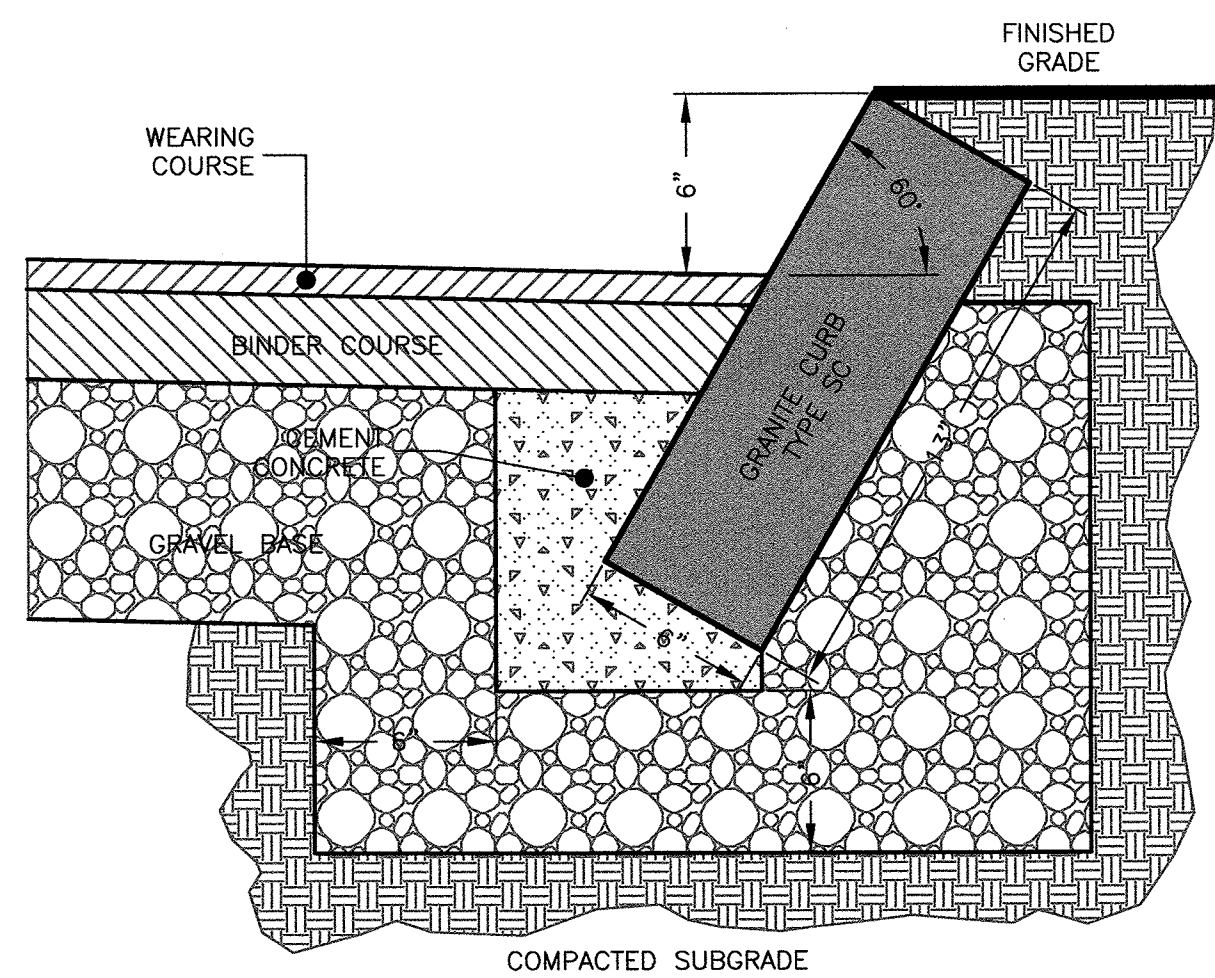
SEWER GAS TRAP
NOT TO SCALE

GENERAL CONSTRUCTION NOTES

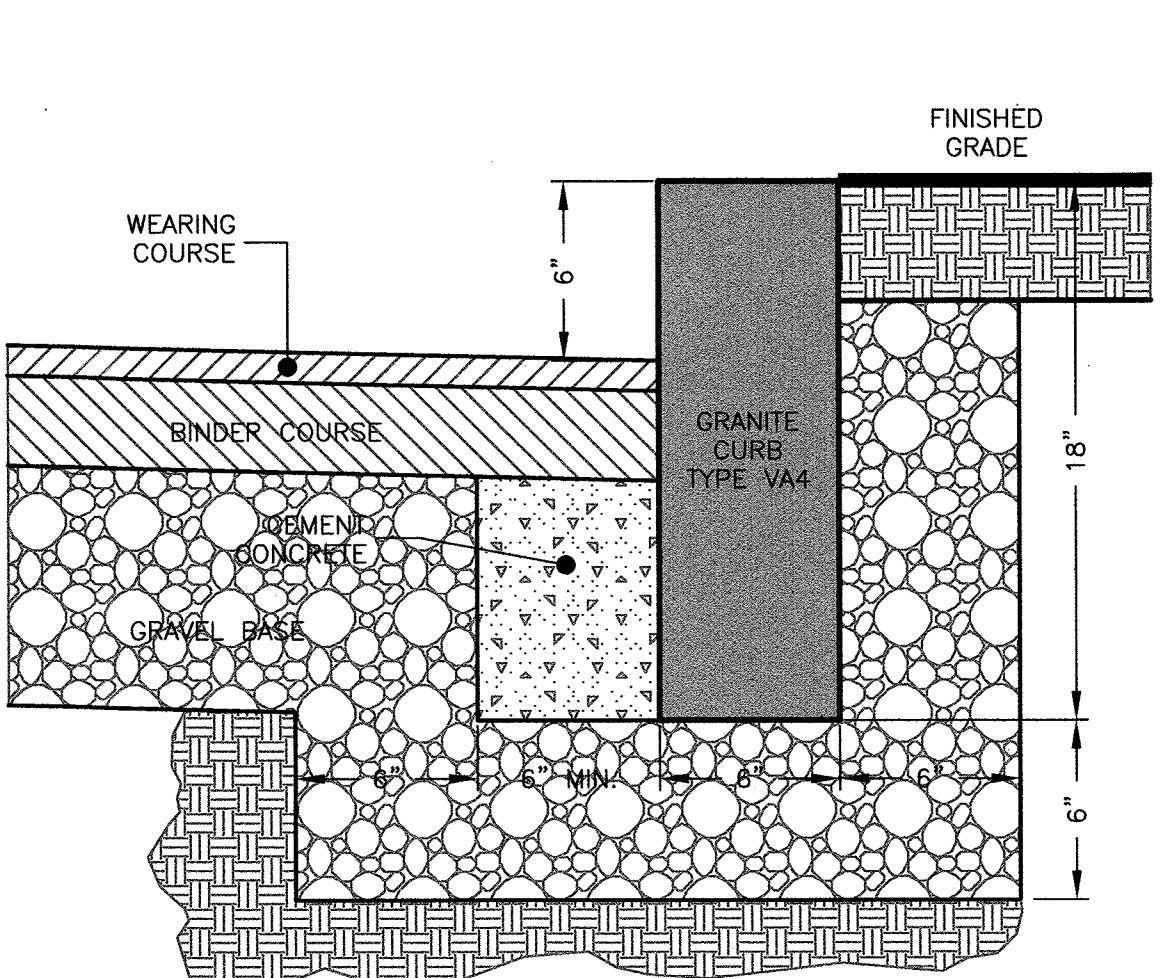
1. MANHOLE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, COVER TO HAVE A CENTER HOLE.
2. A TIGHT COVER MUST BE USED IF MANHOLE IS LOCATED INSIDE OF BUILDING.
3. OPENING SHALL BE NOT LESS THAN 24" DIA.
4. THE MANHOLE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
5. INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
6. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
7. THE NEW MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
8. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE MANHOLE, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.
9. SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE COMMONWEALTH OF MASSACHUSETTS.
10. POLYPROPYLENE STEPS SHALL BE SPACED ABOUT 18" APART.
11. BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE COMMONWEALTH OF MASSACHUSETTS.



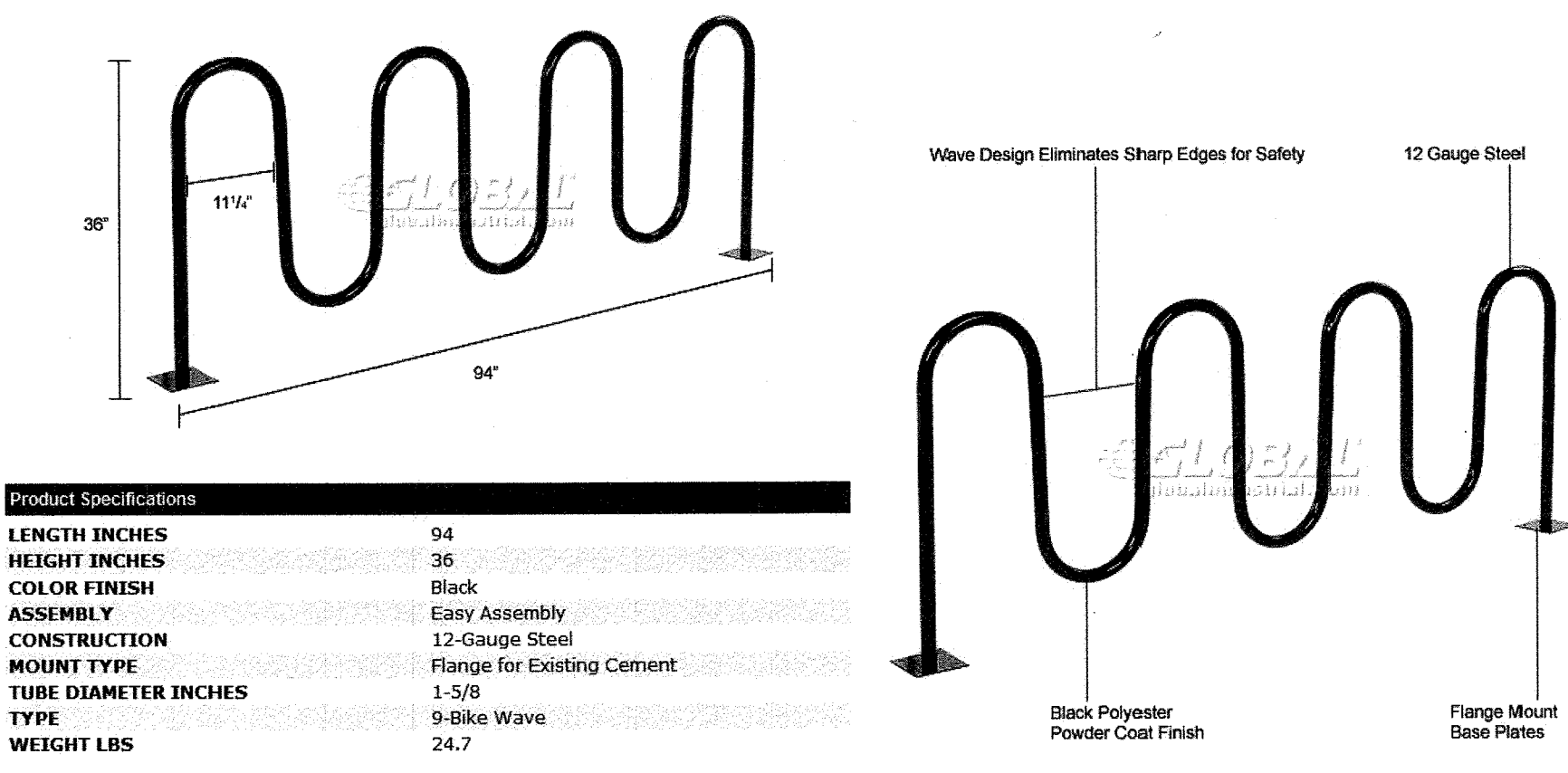
CONCRETE SIDEWALK (BUILDING PERIMETER)
NOT TO SCALE



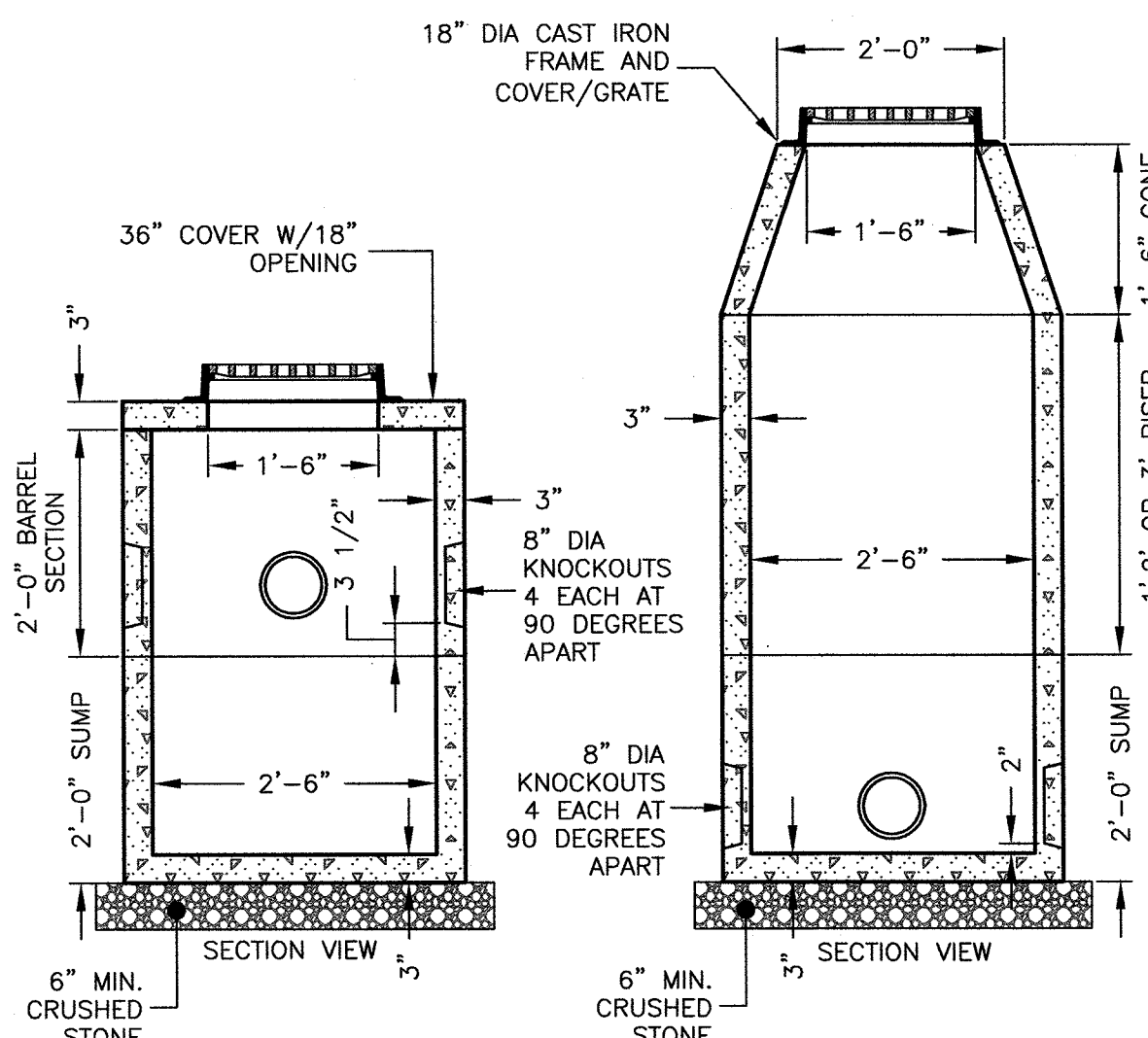
SLOPED GRANITE CURB
NOT TO SCALE



VERTICAL GRANITE CURB
NOT TO SCALE

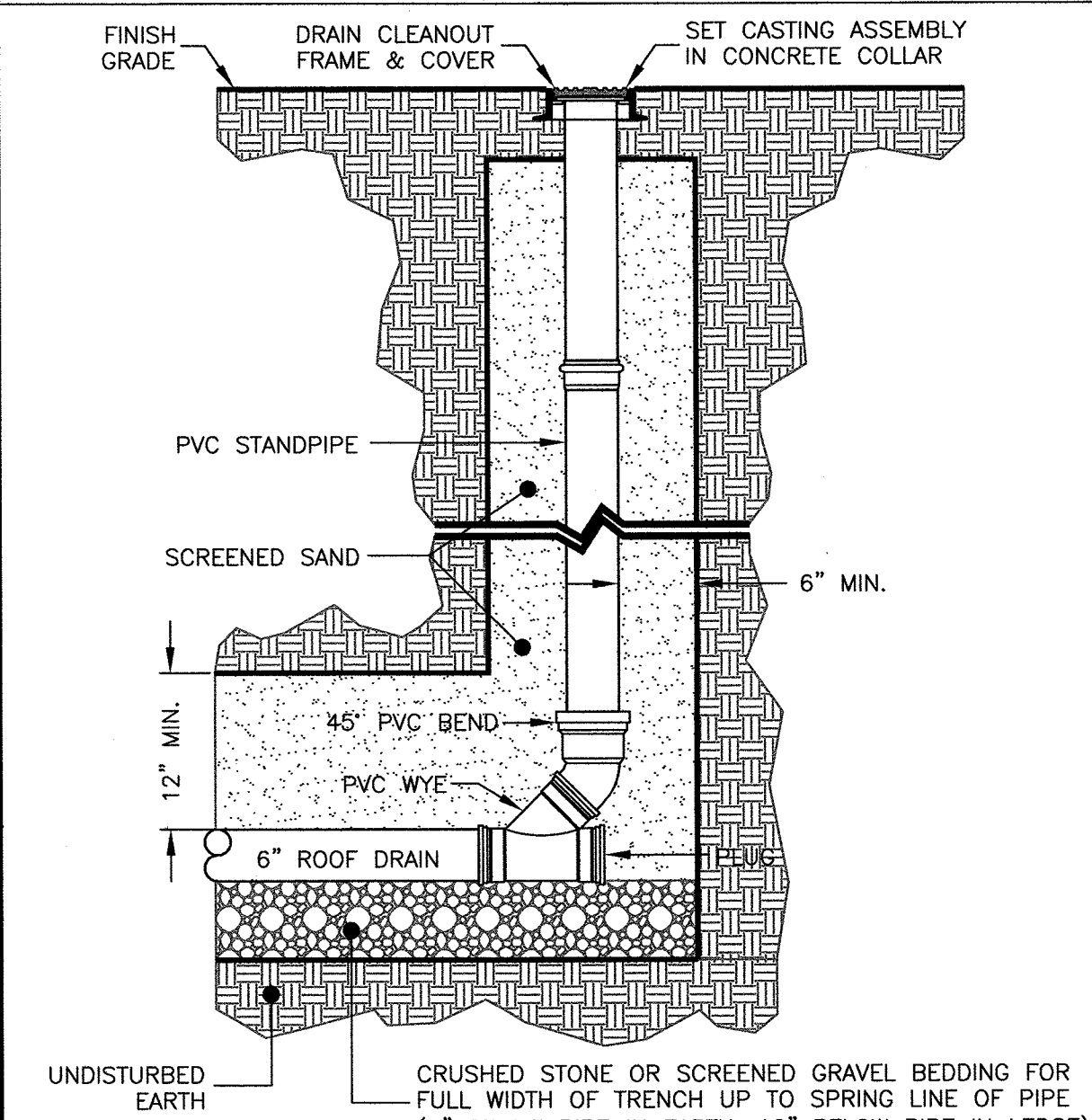


BIKE RACK
NOT TO SCALE

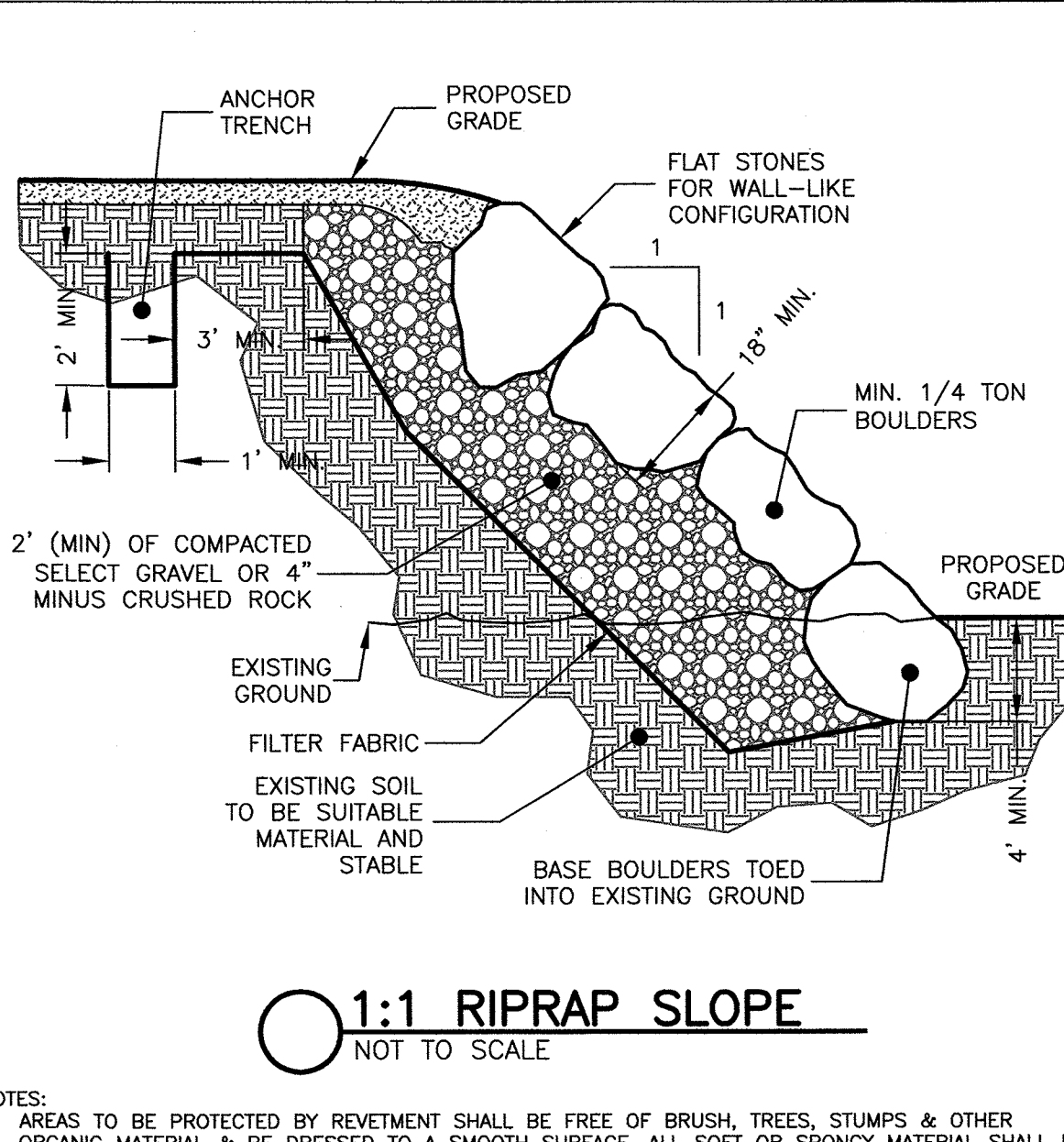


ROOF DRAIN CLEANOUT MANHOLE
NOT TO SCALE

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. FLAT COVER WITH CLEANOUT CAN BE USED IN PLACE OF CONE.
 3. OPTIONAL ROUND CONCRETE COVER CAN BE USED IN PLACE OF CAST IRON FRAME AND COVER.

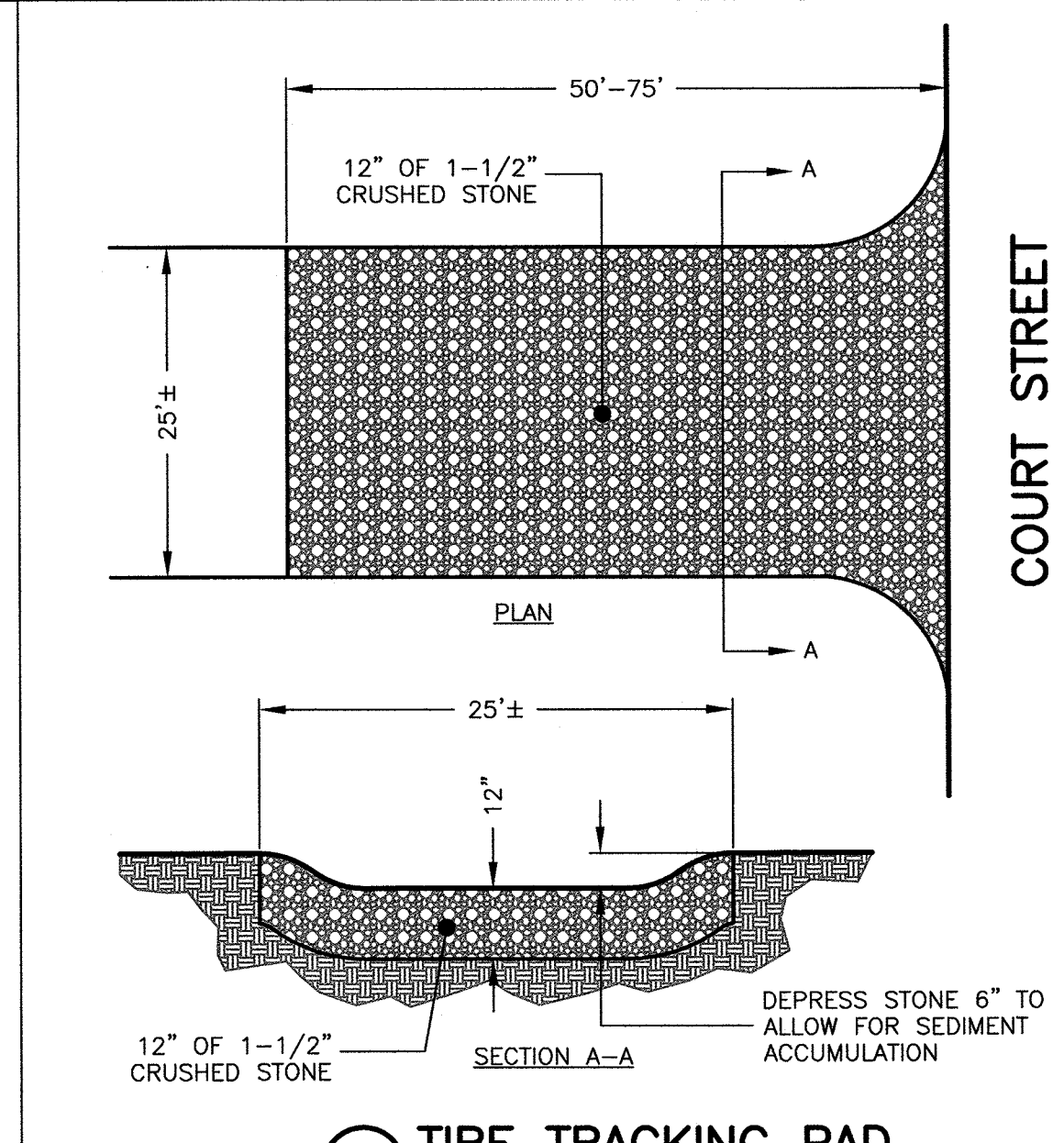


ROOF DRAIN CLEANOUT
NOT TO SCALE



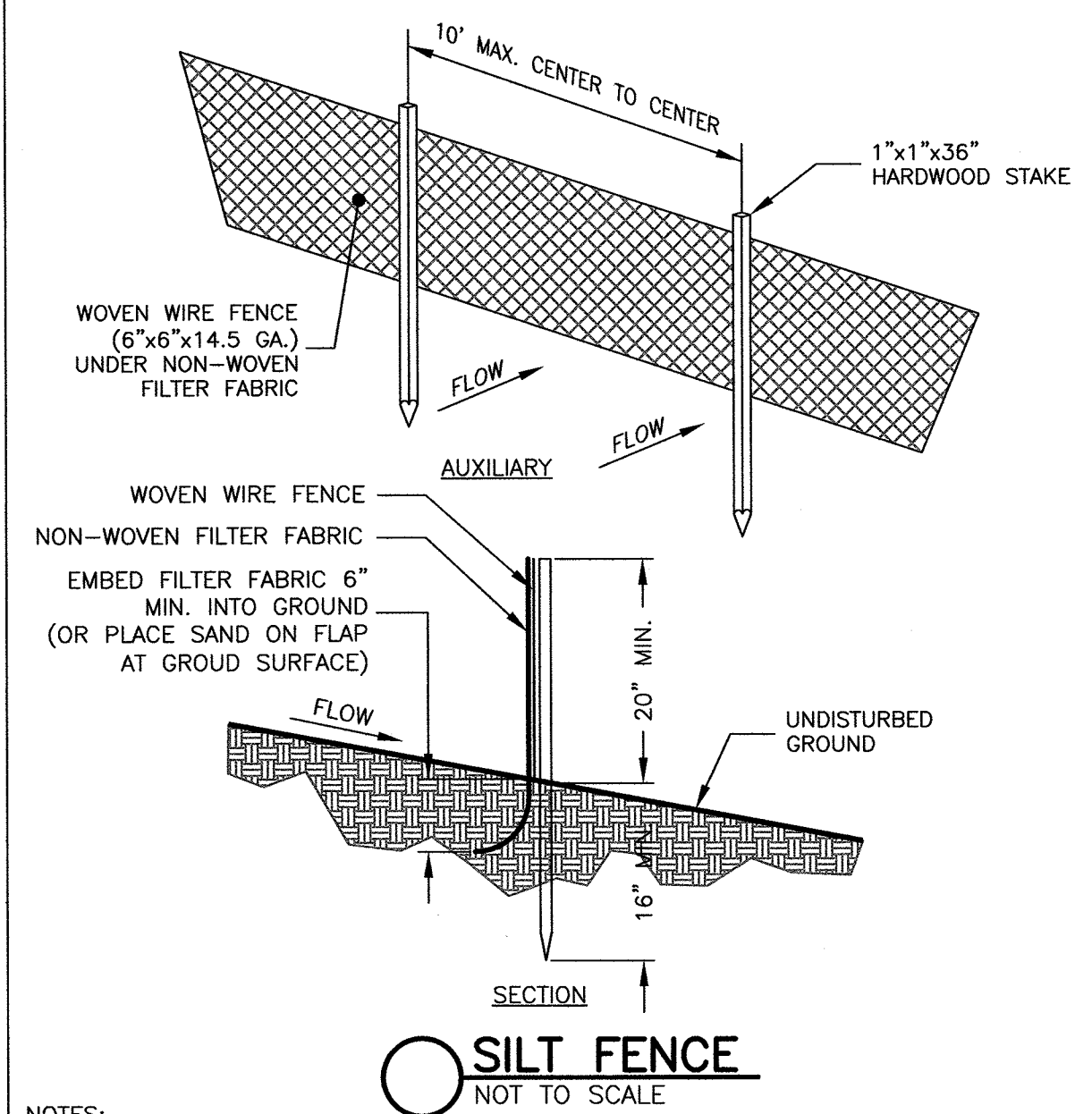
1:1 RIPRAP SLOPE
NOT TO SCALE

- NOTES:
1. AREAS TO BE PROTECTED BY REVELMENT SHALL BE FREE OF BRUSH, TREES, STUMPS & OTHER ORGANIC MATERIAL & BE DRESSED TO A SMOOTH SURFACE. ALL SOFT OR SPONGY MATERIAL SHALL BE REMOVED TO THE DEPTH SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER & REPLACED WITH APPROVED MATERIALS.
 2. THE STONES SHALL BE PLACED UPON AN APPROVED BED TO LINES & GRADES SHOWN ON PLAN. EACH STONE SHALL BE CAREFULLY PLACED BY HAND OR MACHINE, ON A PREPARED BED NORMAL TO THE SLOPE AND FIRMLY BEDDED THEREON. THE LARGE STONES SHALL BE PLACED CLOSELY TOGETHER & THE INTERVENING SPACES FILLED WITH SMALLER STONES IN SUCH A MANNER THAT THE ENTIRE SURFACE WILL FORM A COMPACT MASS.



TIRE TRACKING PAD
NOT TO SCALE

- NOTE:
- PROVIDE TRANSITION BETWEEN CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY



SILT FENCE
NOT TO SCALE

- NOTES:
1. WOVEN WIRE FENCE (6"x6"x14.5 GA.) UNDER NON-WOVEN FILTER FABRIC TO BE USED AT ALL WETLAND CROSSINGS AND ALL AREAS WITHIN 25' OF THE WETLAND LINE. ALL OTHER LOCATIONS THE FILTER FABRIC TO BE UV RESISTANT POLYPROPYLENE WITH A MINIMUM WEIGHT OF 2.5 OZ./SY.
 2. USE MULTIPLE ROWS OF SILT FENCE FOR LONG STEEP SLOPES IF NECESSARY.

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Design By: MEM
Checked By: WRB
Project File: NEW-0033
Comp. No: NEW23

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☐ Not For Construction

No.	Revision	Date
10		
9		
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Scale: 1"=20'
0' 10' 20' 40'

Date: February 19, 2014

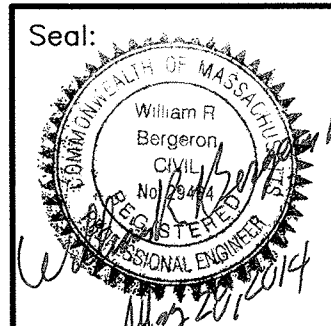
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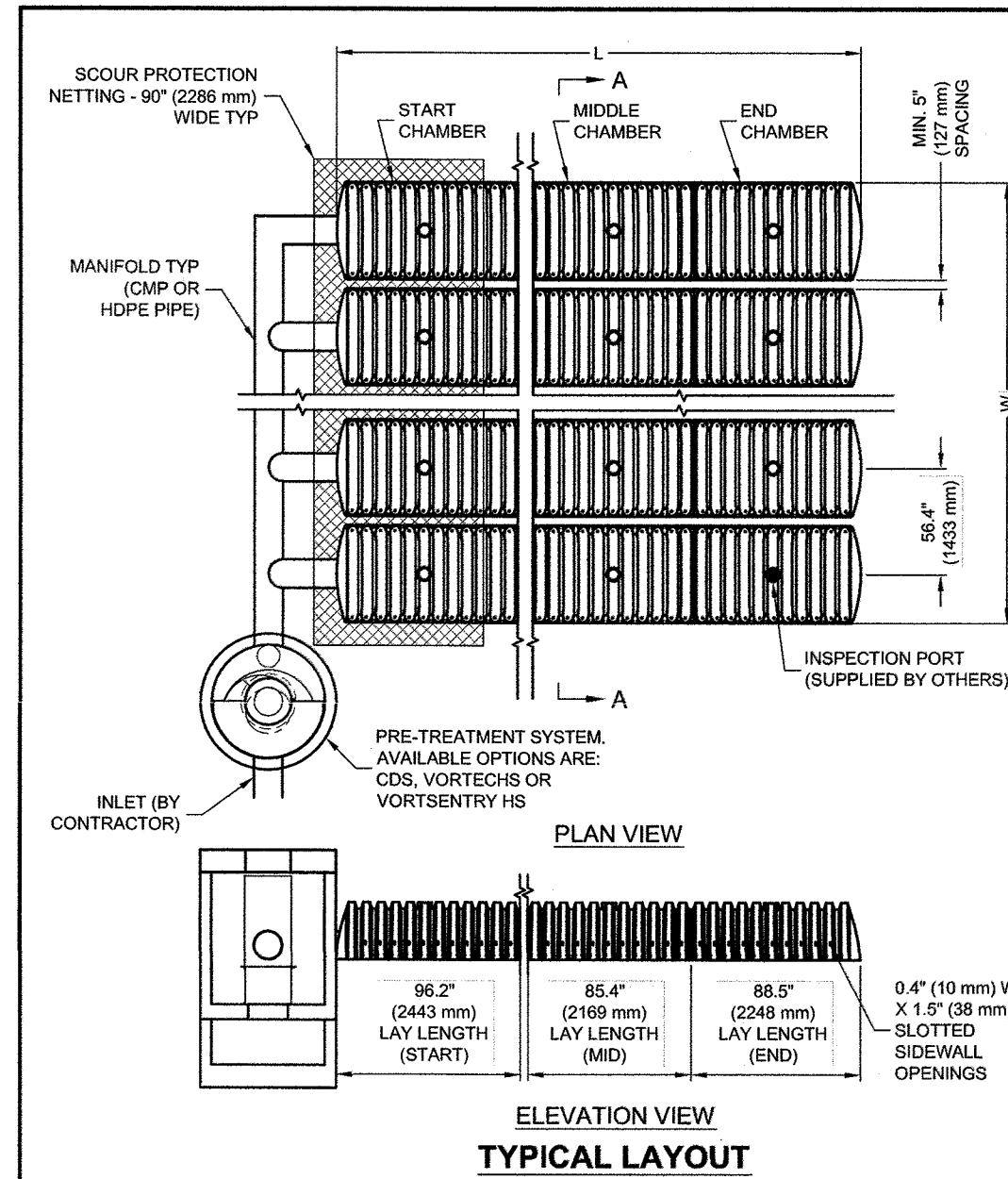
SITE PLAN-SITE DETAILS
#75-#83 COURT STREET
CHAPTER 40B COMPREHENSIVE PERMIT
NEWTON, MASS.

Drawing No.:

C6

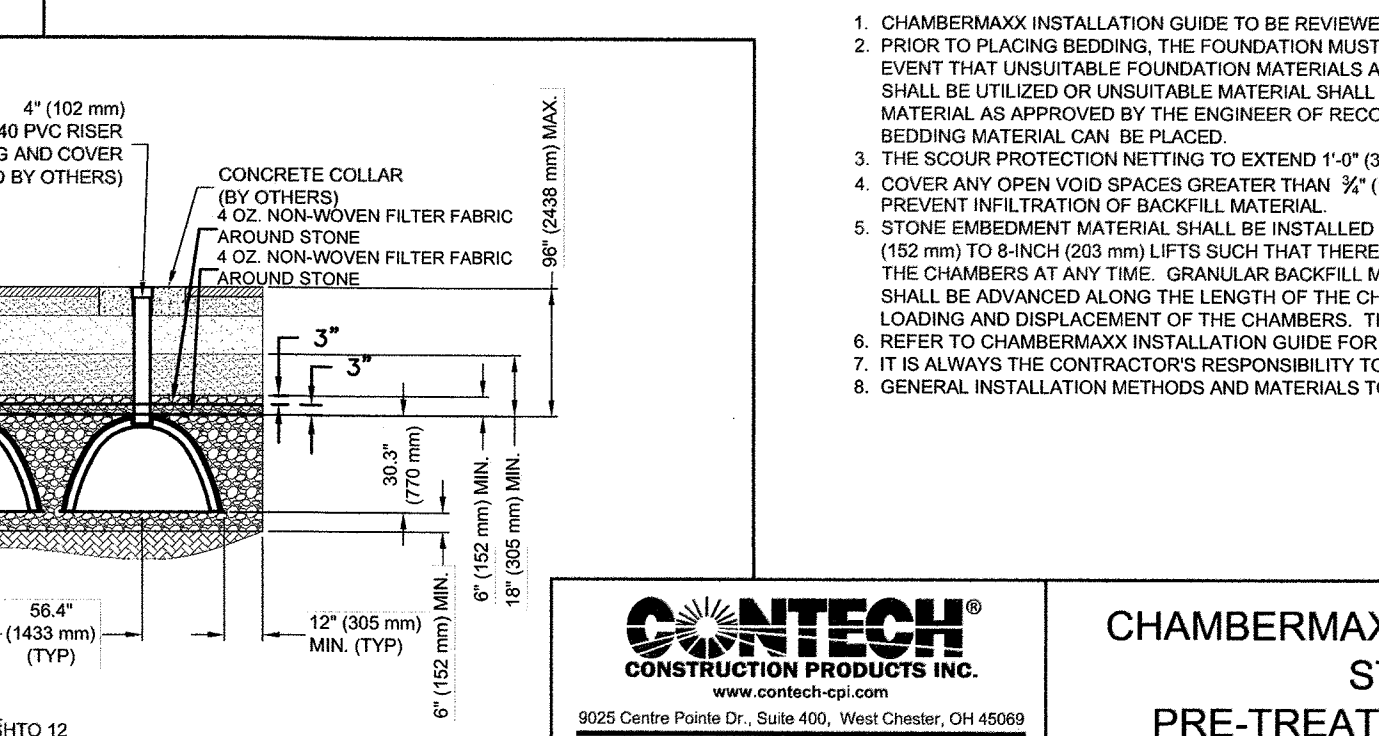
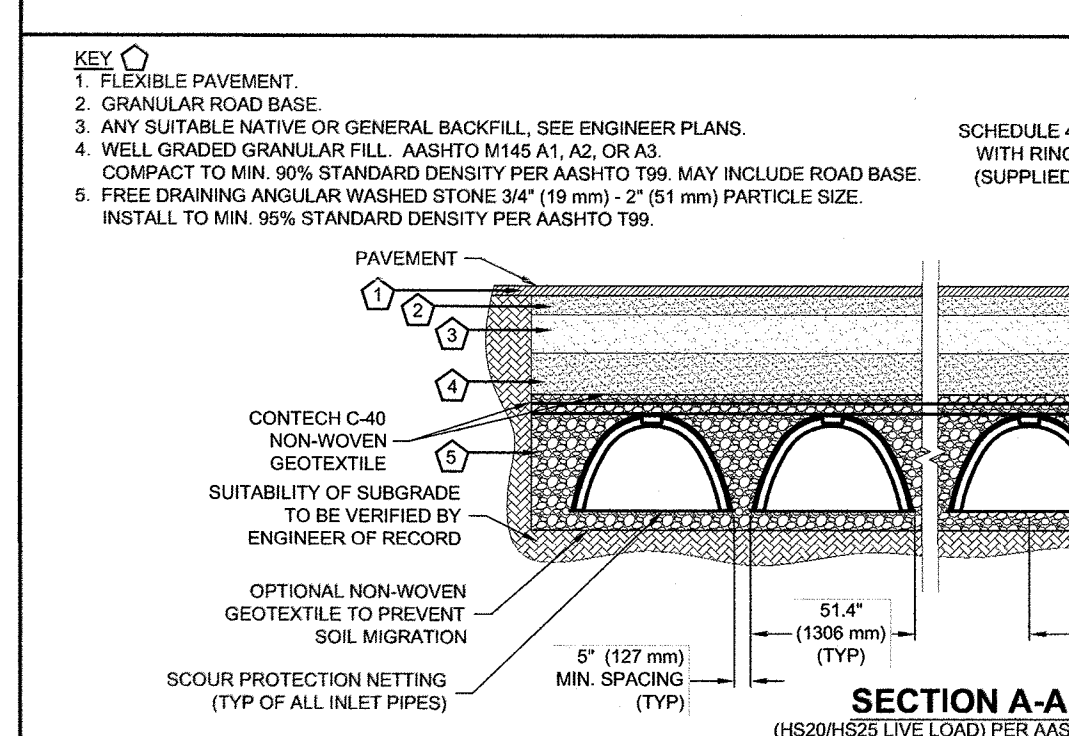
SHEET 6 OF 7



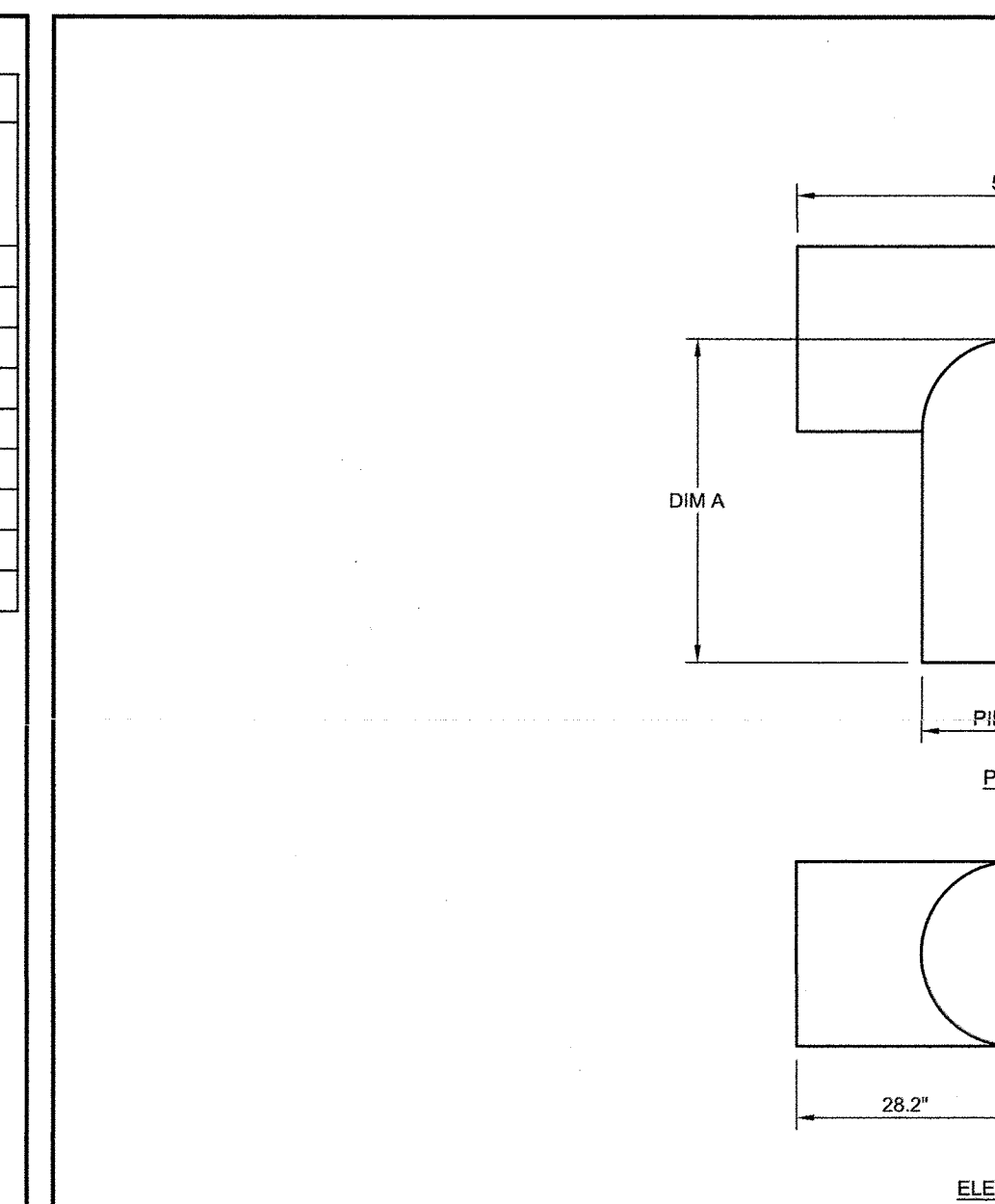


CHAMBERMAXX DESIGN DETAILS			
FEATURE	START CHAMBER	MIDDLE CHAMBER	END CHAMBER
OVERALL CHAMBER HEIGHT - IN (mm)	30.3 (770)	30.3 (770)	30.3 (770)
OVERALL CHAMBER WIDTH - IN (mm)	51.4 (1306)	51.4 (1306)	51.4 (1306)
ACTUAL LENGTH - IN (mm)	96.4 (2500)	91.0 (2311)	92.0 (2337)
INSTALLED LAY LENGTHS - IN (mm)	96.2 (2443)	85.4 (2169)	88.5 (2248)
CHAMBER STORAGE VOLUME - CF (m³)	52.5 (1.49)	49.3 (1.39)	48.2 (1.36)
CHAMBER STORAGE PER LINEAR FOOT - CF/LF (m³/m)	6.5 (0.604)	6.9 (0.641)	6.5 (0.604)
*MIN. INSTALLED CHAMBER VOLUME - CF (m³)	78.7 (2.23)	76.7 (2.17)	76.1 (2.15)
*MIN. INSTALLED CHAMBER VOLUME PER LINEAR FOOT - CF/LF (m³/m)	9.8 (0.910)	10.8 (1.003)	10.3 (0.957)
CHAMBER WEIGHT - LB (kg)	85 (38.55)	77 (34.92)	76 (34.47)
*6" (152 mm) OF STONE ABOVE AND BELOW CHAMBER, 5" (127 mm) CHAMBER SPACING AND 40% POROSITY			

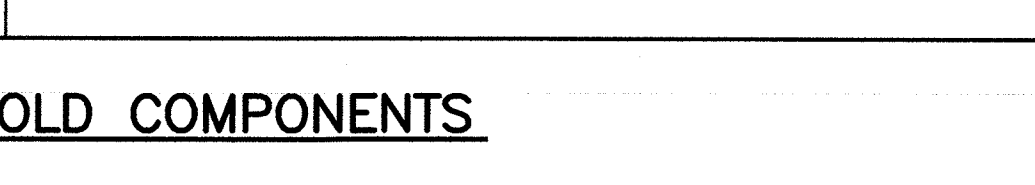
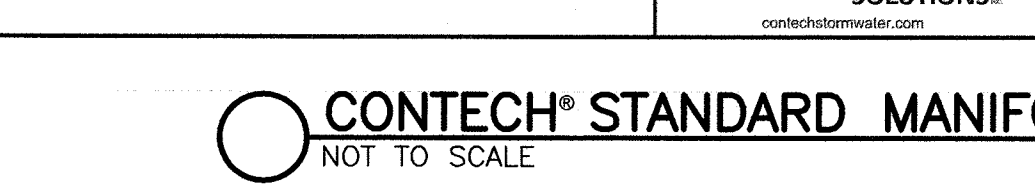
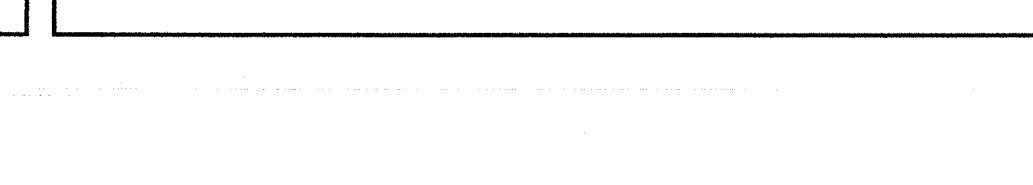
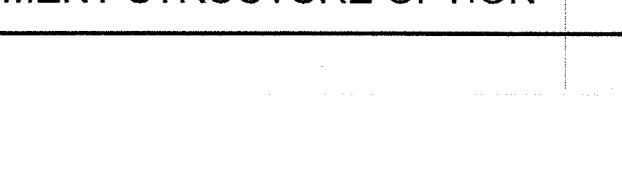
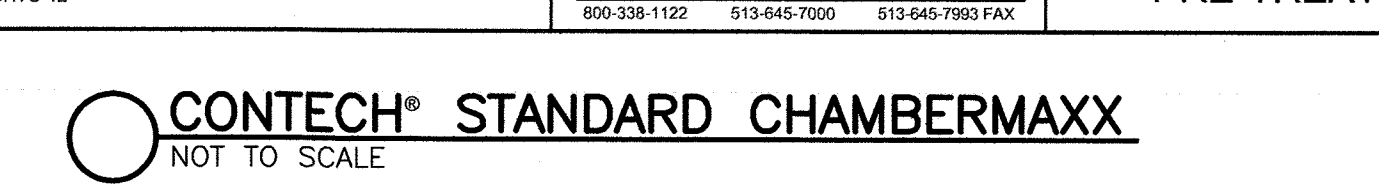
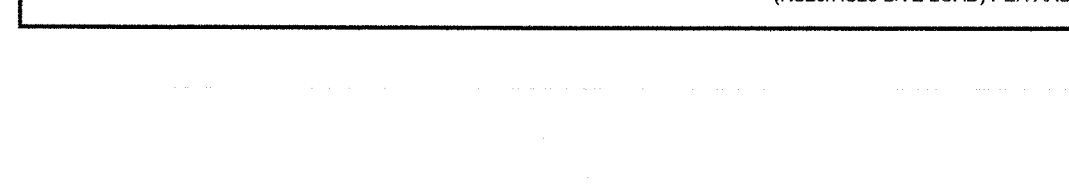
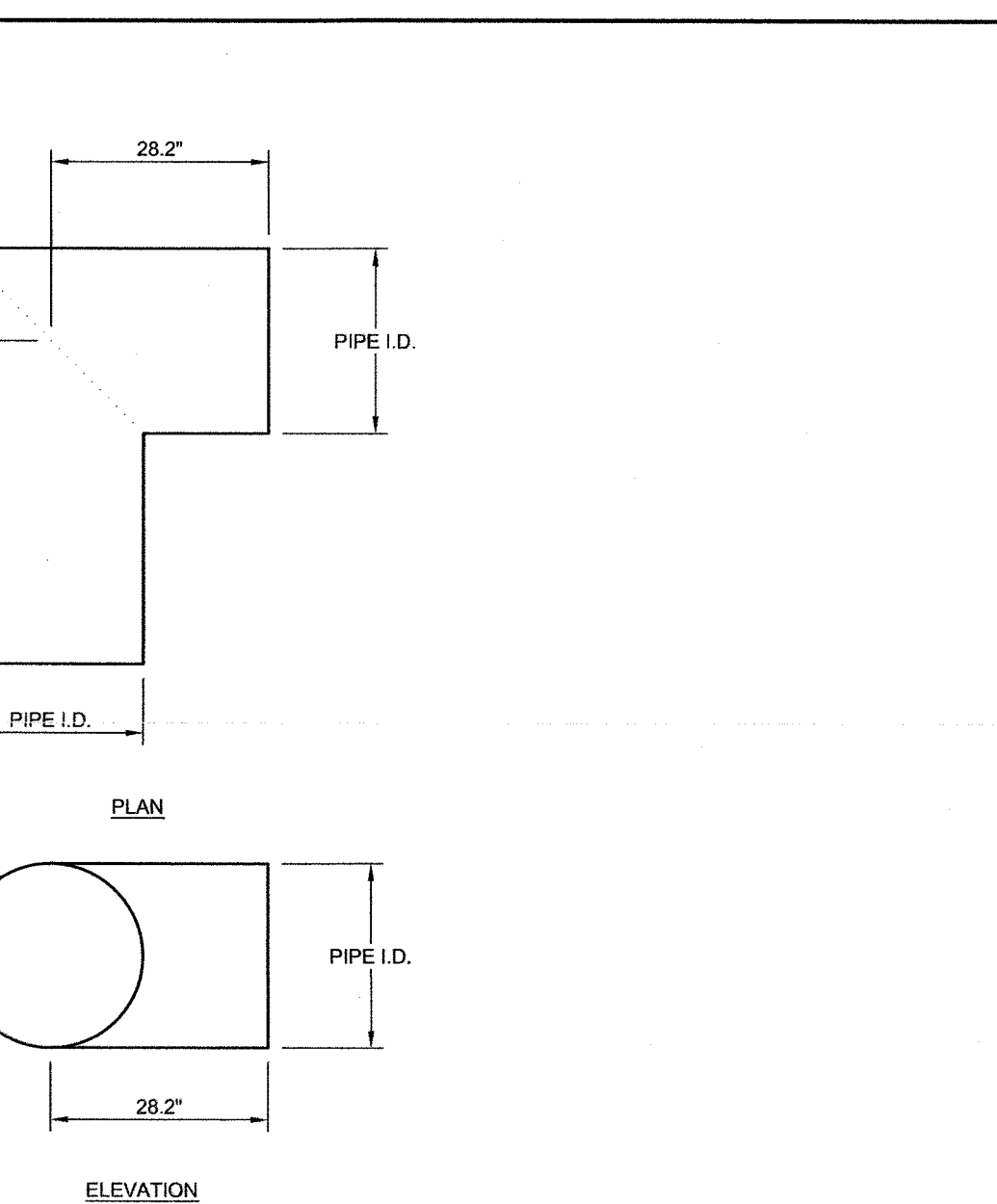
- * SITE SPECIFIC DATA REQUIREMENTS**
- FOR DETAILED DESIGN ASSISTANCE REFERENCE CHAMBERMAXX DYNOS (DESIGN YOUR OWN DETENTION SYSTEM) SOFTWARE AND CHAMBERMAXX STAGE STORAGE CALCULATOR @ WWW.CONTECHSTORMWATER.COM
- DEPTH TO INVERT BELOW ASPHALT (FT OR m)
- LIMITING WIDTH (FT OR m)
- LIMITING LENGTH (FT OR m)
- POROUS STONE ABOVE CHAMBER (IN OR mm)
- POROUS STONE BELOW CHAMBER (IN OR mm)
- STONE POROSITY (0 TO 40%)
- MANIFOLD SYSTEM DIAMETER (IN OR mm)
- * PER ENGINEER OF RECORD



- GENERAL NOTES**
- ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
 - PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
 - CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
 - CHAMBERMAXX SYSTEM TO MEET AASHTO HS20/HS25 LIVE LOADING, PER AASHTO LRFD SECTION 12.
 - ACCESS COVERS TO MEET AASHTO HS20/HS25 LIVE LOADING.
 - MINIMUM COVER IS 18-INCHES (457 mm) AND MAXIMUM COVER IS 96-INCHES (2438 mm) TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 96-INCHES (2438 mm) CONTACT YOUR LOCAL REPRESENTATIVE.
 - ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
 - FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS S OR CONTACT YOUR LOCAL REPRESENTATIVE.
 - CHAMBERMAXX BY CONTECH CONSTRUCTION PRODUCTS (800) 925-6240
- INSTALLATION NOTES**
- CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
 - PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, A TENSAR BY GEOTEXTILE SHALL BE UTILIZED OR UNSUITABLE MATERIAL SHALL BE REMOVED AND BROUGHT BACK TO GRADE WITH FILL MATERIAL AS APPROVED BY THE ENGINEER OF RECORD. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE BEDDING MATERIAL CAN BE PLACED.
 - THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" (305 mm) BEYOND OUTSIDE EDGE OF INLET CHAMBERS.
 - COVER ANY OPEN VOID SPACES GREATER THAN 3/4" (19 mm) ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL.
 - STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 95% STANDARD PROCTOR DENSITY AND PLACED IN 6-INCH (152 mm) TO 8-INCH (203 mm) LIFTS SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME. GRANULAR BACKFILL MATERIAL SHALL BE COMPACTED TO 90% STD. BACKFILLING SHALL BE ADVANCED ALONG THE LENGTH OF THE CHAMBER ROWS AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING AND DISPLACEMENT OF THE CHAMBERS. THE MINIMUM CHAMBER SPACING MUST BE MAINTAINED.
 - REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
 - IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
 - GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D3221.



STANDARD MANIFOLD COMPONENTS				
	AVAILABLE DIAMETERS (IN)			
TEE	12	15	18	24
ELBOW	12	15	18	24
DIM A	42	42	48	48



Prepared For:

Owner / Applicant

Prepared By:

Design By:

Drawn By: MEM

Checked By: WRB

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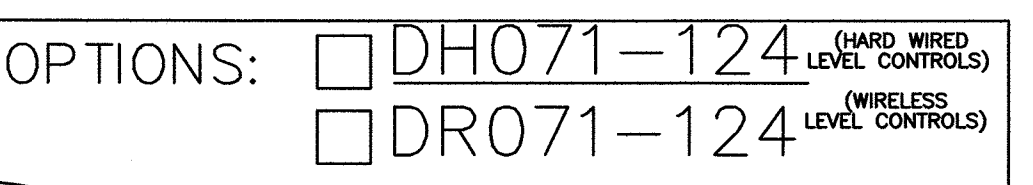
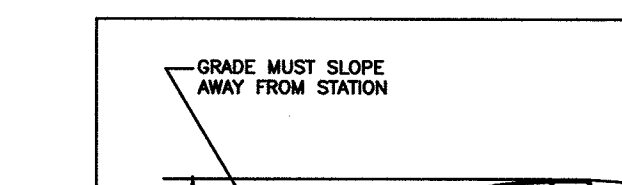
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Final Adjustments

Grades West Side of Bldg

Revision

Date



Prepared For:

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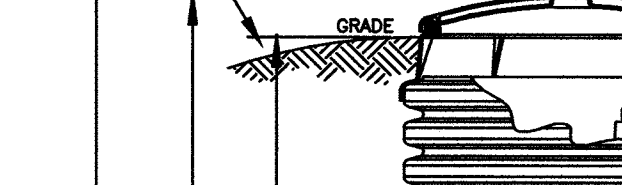
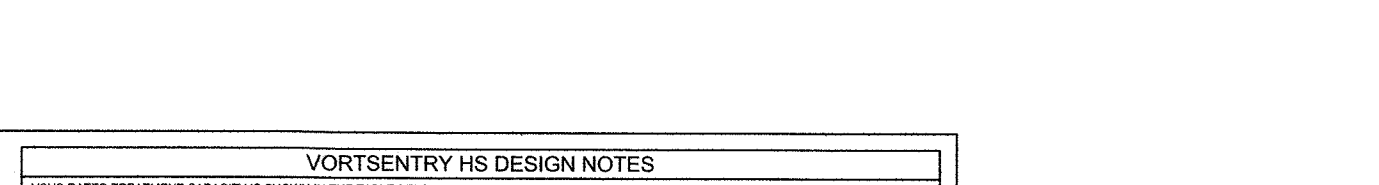
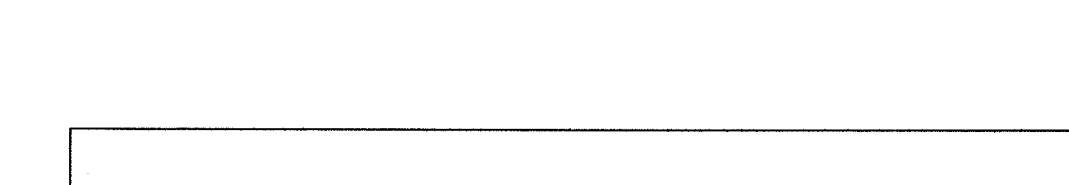
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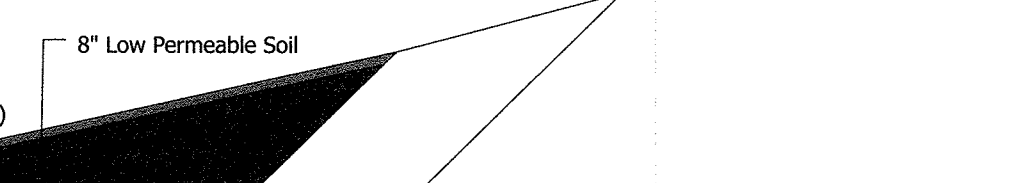
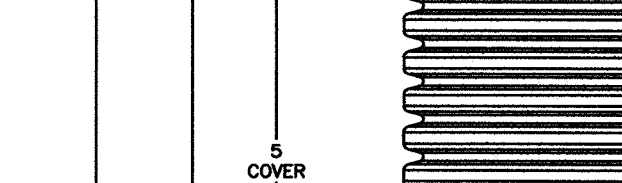
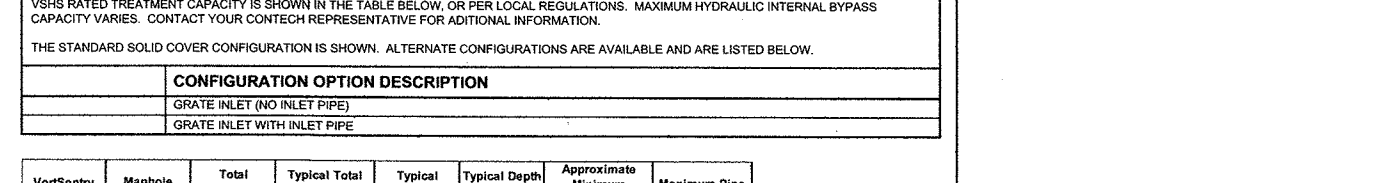
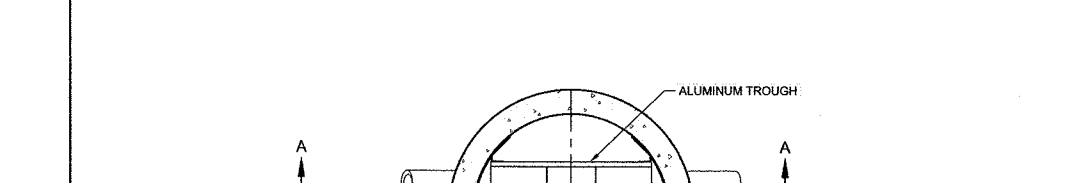
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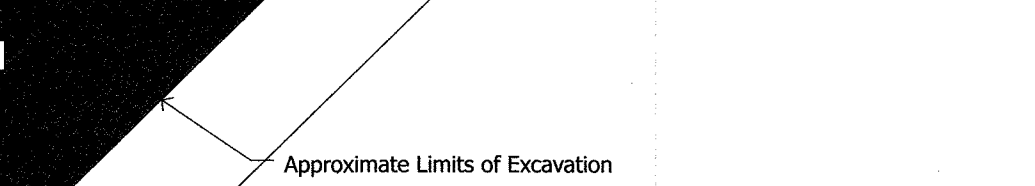
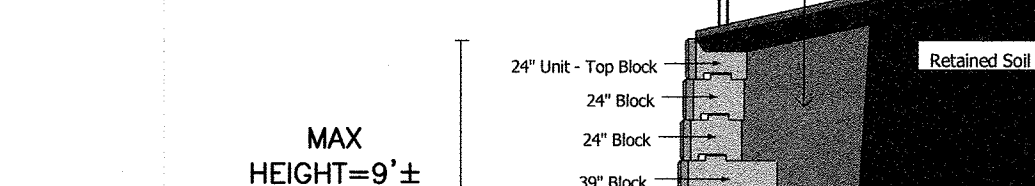
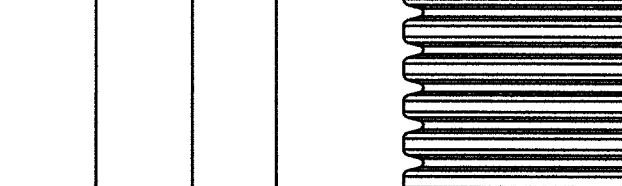
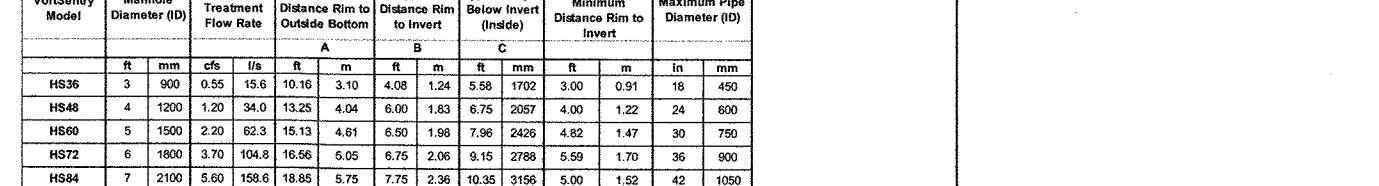
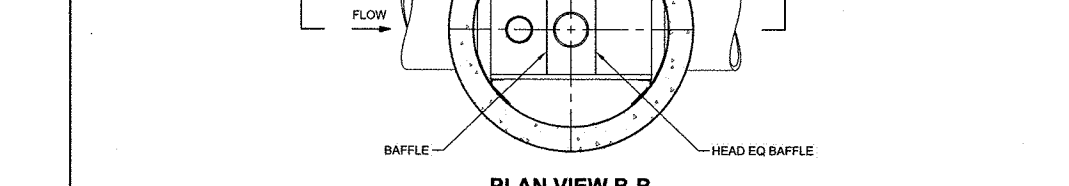
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Prepared By:

Design By:

Drawn By: MEM

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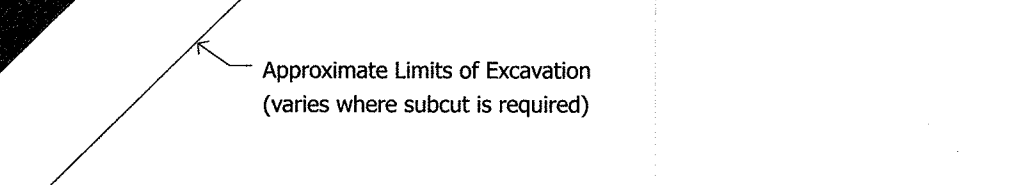
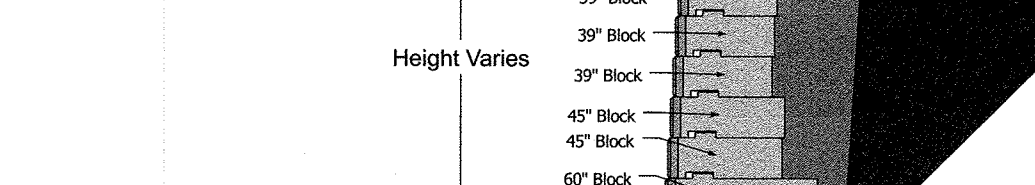
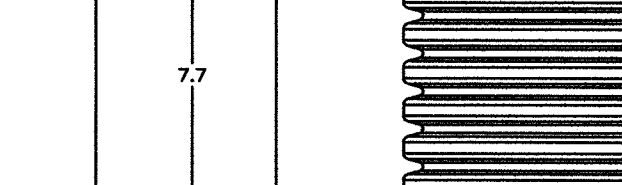
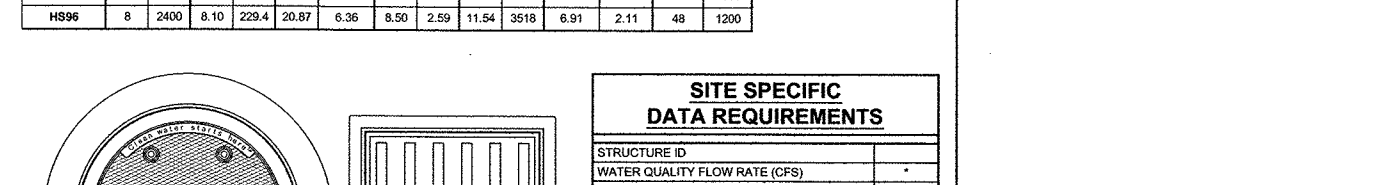
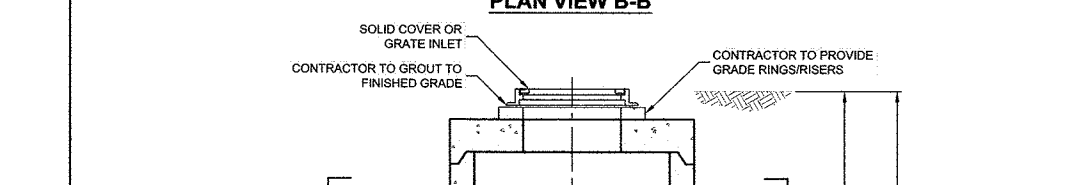
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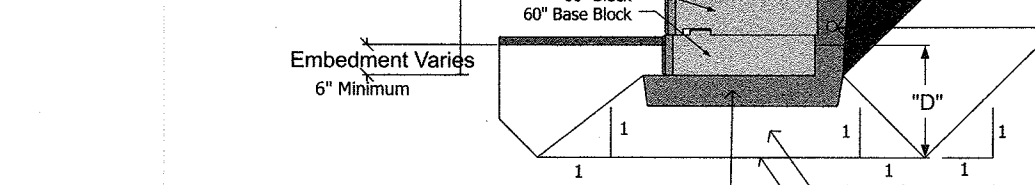
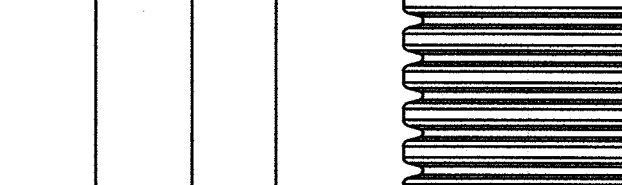
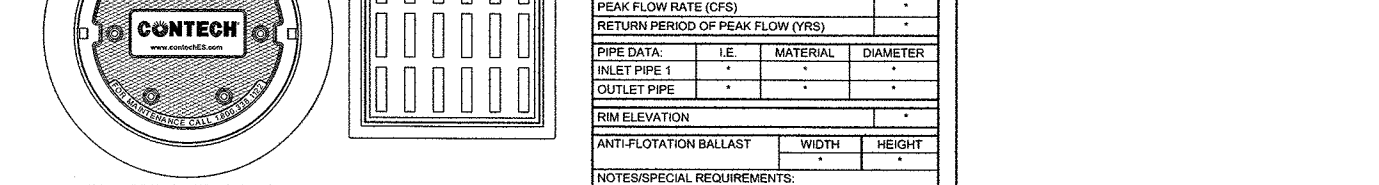
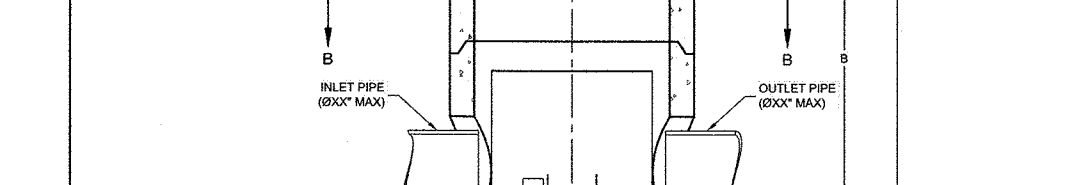
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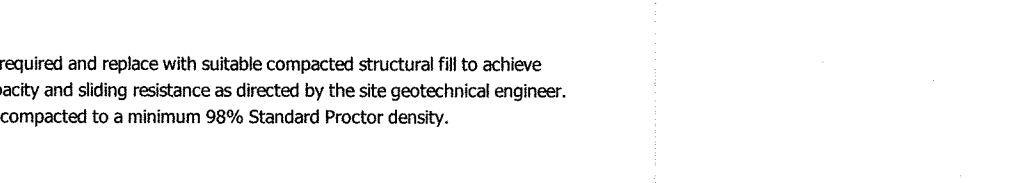
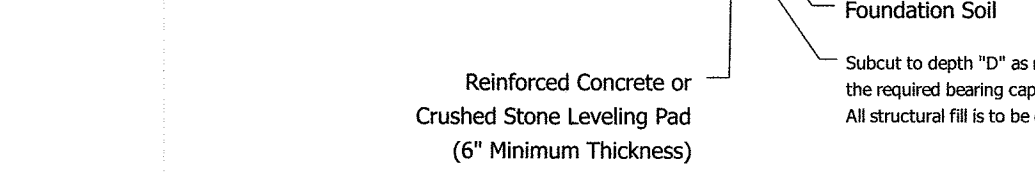
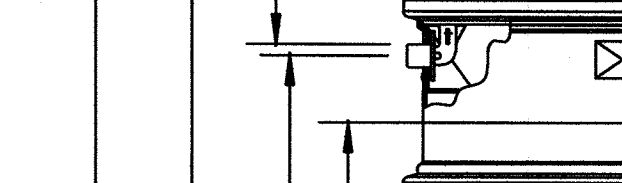
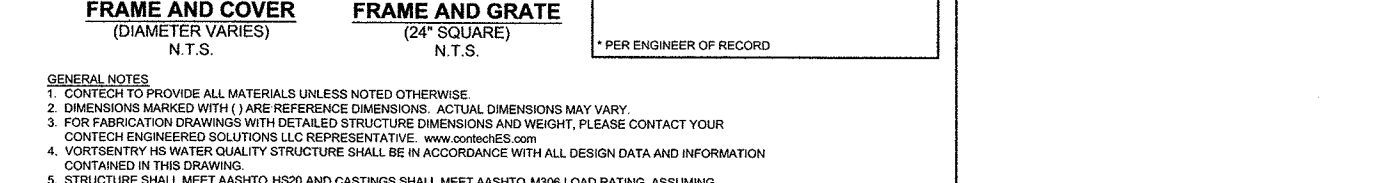
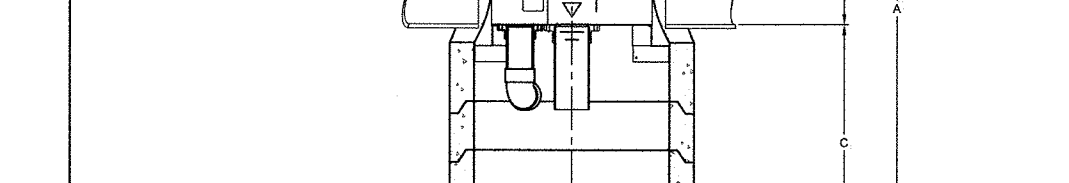
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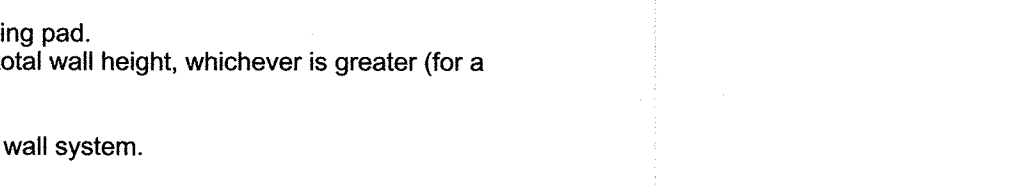
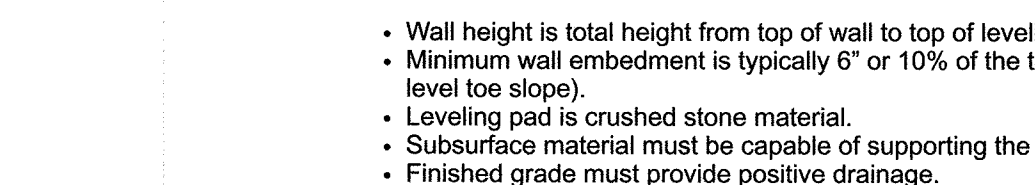
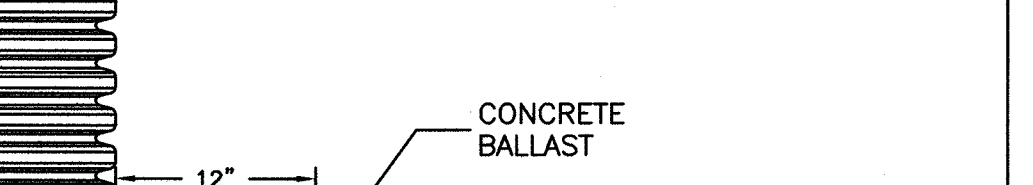
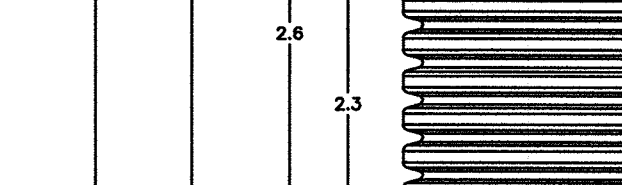
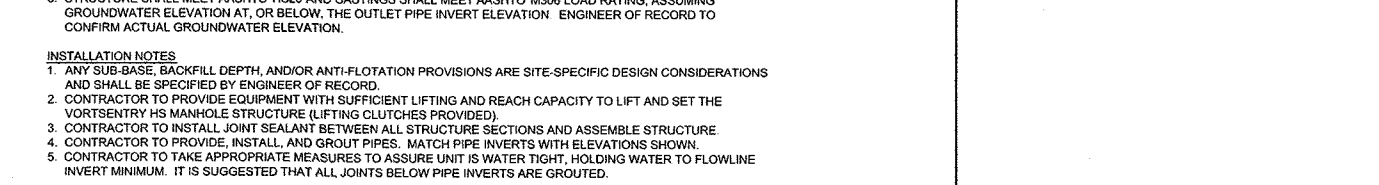
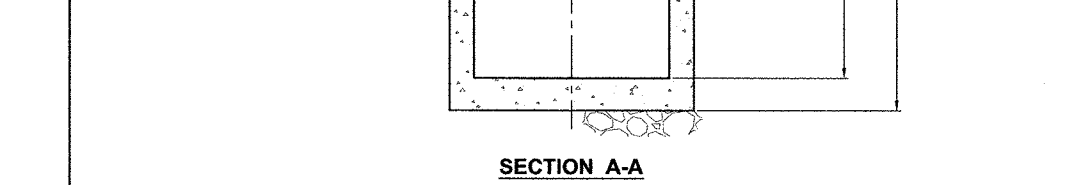
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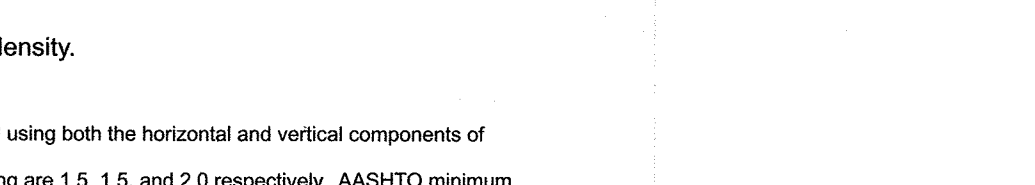
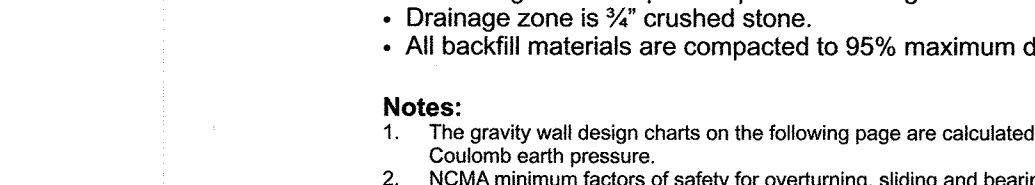
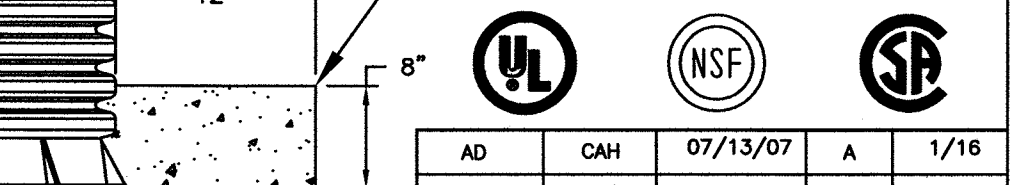
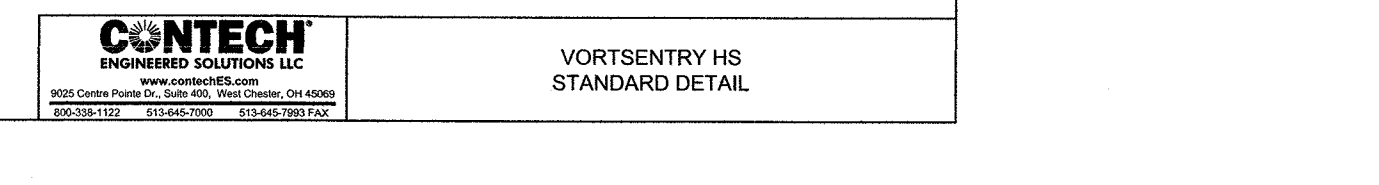
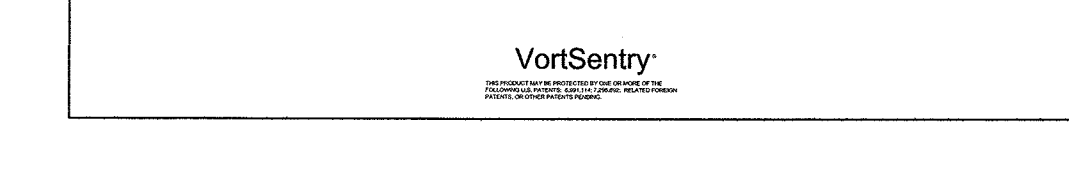
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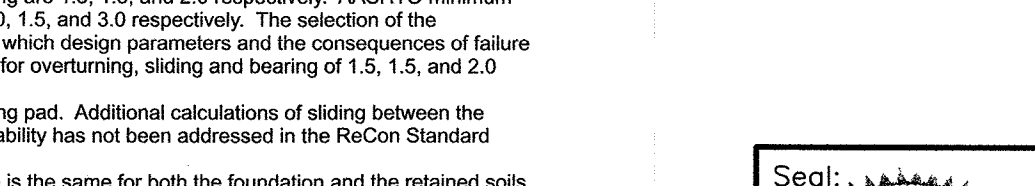
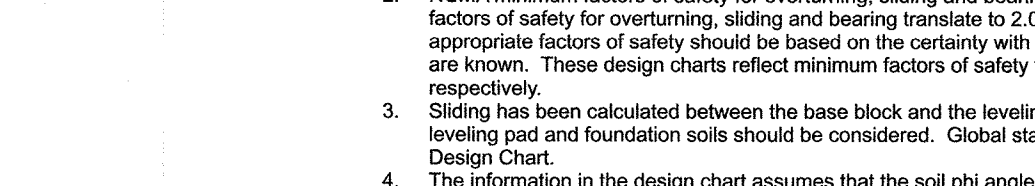
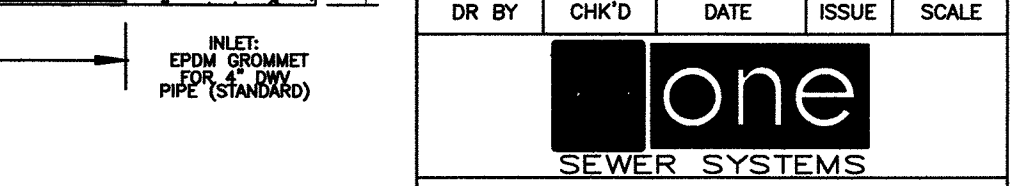
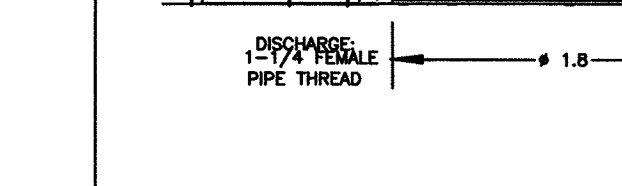
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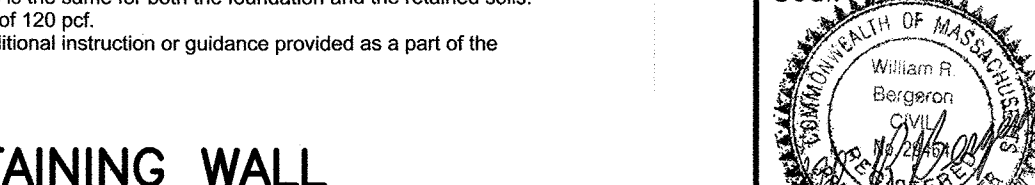
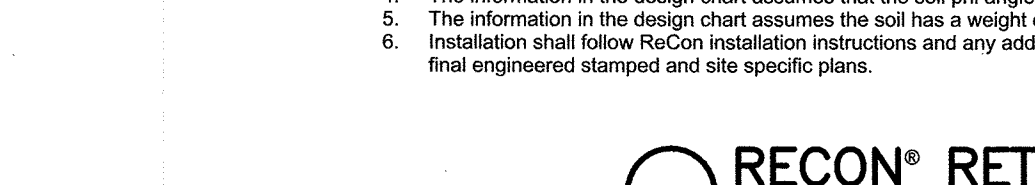
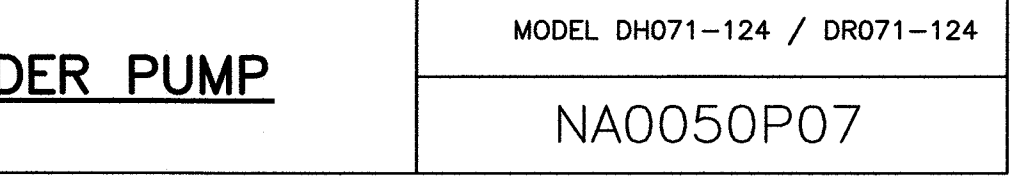
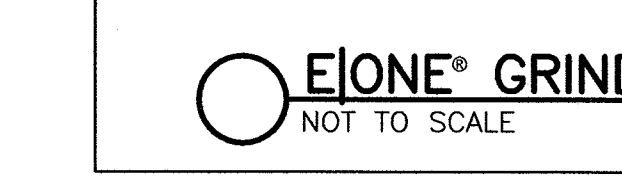
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